



cityofnovi.org

Novi Public Library SP 08-17

Novi Public Library, SP08-17

Consideration of the request of BEI Associates Inc., for Preliminary Site Plan and Storm Water Management Plan approval. The subject property is located in Section 27, south of Ten Mile Road, east of Taft Road, in the R-4, One-Family Residential District. The subject property is approximately 7.0 acres and the applicant is proposing to demolish and reconstruct the Novi Public Library.

Required Action

Recommend approval/denial of the Preliminary Site Plan and Storm Water Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	04/17/08	<ul style="list-style-type: none"> • Ordinance deviation for the building height. • Ordinance deviation for the northern building setback. • Ordinance deviation for the front yard parking setback. • Ordinance deviation for rear loading zone screening. • Ordinance for the lack of setback from the building for the proposed dumpster. • Ordinance deviation for the required dumpster screening. • Minor items to be addressed at time of Final Site Plan submittal.
Landscaping	Approval recommended	04/07/08	<ul style="list-style-type: none"> • Planning Commission waiver for the lack of canopy trees along Ten Mile Road. • Minor items to be addressed at time of Final Site Plan submittal.
Traffic	Approval recommended	04/21/08	Minor items to be addressed at time of Final Site Plan submittal.
Engineering	Approval recommended	04/22/08	Minor items to be addressed at time of Final Site Plan submittal.
Façade	Approval recommended	04/22/08	<ul style="list-style-type: none"> • Section 9 waiver required for the use of precast concrete, underage of brick material on the west façade and the use of metal louvers and wood veneer phenolic panels. • Minor items to be addressed at time of Final Site Plan submittal.
Fire	Approval recommended	04/03/08	Minor items to be addressed at time of Final Site Plan submittal.

Motions

Approval – Preliminary Site Plan

In the matter of Novi Public Library, SP 08-17, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. Planning Commission waiver for the required canopy trees along Ten Mile Road;
- b. Ordinance deviation for the northern building setback (60 feet provided, 75 feet required);
- c. Ordinance deviation for the building height (36 feet provided, 35 feet required);
- d. Ordinance deviation for the front yard parking setback (72 feet provided, 75 feet required) ;
- e. Ordinance deviation for the rear loading zone screening;
- f. Ordinance deviation for the lack of setback from the building for the proposed dumpster (3 feet provided, 10 feet required);
- g. Ordinance deviation for the required dumpster screening;
- h. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- i. *(additional conditions here if any)*

for the following reasons... *(because the plan is otherwise in compliance with Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

Approval – Storm Water Management Plan

In the matter of Novi Public Library, SP 08-17, motion to **approve** the Storm Water Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

for the following reasons...*(because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

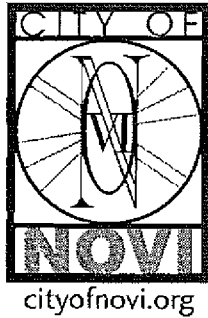
Denial - Preliminary Site Plan

In the matter of Novi Public Library, SP 08-17, motion to **deny** the Preliminary Site Plan, for the following reasons...*(because it is not in compliance with the Ordinance.)*

Denial - Storm Water Management Plan

In the matter of Novi Public Library, SP 08-17, motion to **deny** the Storm Water Management Plan, for the following reasons...*(because it is not in compliance with Chapter 11 of the Ordinance.)*

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

April 17, 2008

Planning Review

Novi Public Library

SP #08-17

Petitioner

BEI Associates, Inc. (Christopher Kittides)

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: 45245 Ten Mile Road, south side of Ten Mile Road, east of Taft Road (Section 27)
- Site School District: Novi Community School District
- Site Zoning: R-4, One-Family Residential
- Adjoining Zoning: North, South, East and West: R-4, One-Family Residential
- Site Use(s): Existing Novi Public Library
- Adjoining Uses: North: Ten Mile Road, Single-Family Homes (across Ten Mile Road); East: Novi Civic Center; South: Novi High School; West: Fuerst Farm
- Site Size: 7.0 acres
- Proposed Building Size: Approximately 55,227 square feet
- Plan Date: Site Plan 04/03/08

Project Summary

The applicant is proposing to demolish and reconstruct the Novi Public Library. The proposed structure will be a two-story building totaling approximately 55,227 square feet. Associated parking, an outdoor reading area and book drop-off drive-through will also be constructed. The plans are still being finalized and there may be minor changes at the time of Final Site Plan submittal. The applicant intends to utilize the existing library during construction and a phasing plan has been provided to show how the construction and transition between the old and new building will take place.

Recommendation

Approval of the ***Preliminary Site Plan is recommended.*** There are minor planning related items the applicant should address at the time of Final Site Plan submittal.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 4 (R-1 – R-4, One-Family Residential Districts), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Applicable sections of

the Zoning Ordinance and other regulatory documents are highlighted in gray on the attached chart. Items in **bold** below must be addressed by the applicant or Planning Commission before Preliminary Site Plan Approval may be granted. Items underlined should be addressed on the Final Site Plan. The applicant should respond to all of the comments below and in the additional staff and consultant review letters prior to the Planning Commission meeting.

1. Building Height: Section 2400 of the Zoning Ordinance indicates a maximum building height in the R-4 District of 35 feet. The plans show a building height of 36 feet, measured to the top of the skylight. **The applicant should adjust the height of the skylight to a 35 foot maximum or this would be considered a deviation from the ordinance.**
2. Building Setbacks: The proposed building should be setback 75 feet from all property lines. The building setback on the northern side of the property is approximately 60 feet. **The applicant should revise the site plan to meet the building setback requirements or this would be considered a deviation from the ordinance.**
3. Parking during Phased Construction: As indicated by the phasing plan, portions of the existing library parking will be demolished as part of Phase A of the construction. Although some of the existing parking will be eliminated on the site for a portion of the construction process, the remaining parking spaces would still provide adequate parking under the Zoning Ordinance for the existing library during construction. The applicant should indicate whether any additional parking at the nearby municipal facilities will be utilized for the existing library during construction.
4. Green Building Techniques: It has been noted that bioswales are proposed as part of the plan. The applicant should note any additional "green building techniques" that are proposed on the site or as components of the building.
5. Township Hall: The applicant should indicate on the final site plan how the phasing plan would affect the placement of the Township Hall throughout the construction process on the Final Site Plan.
6. Parking Setbacks: Per Section 2400 of the Zoning Ordinance, parking setbacks along the front of the property should be equal to 75 feet. The front yard parking setback equals 72 feet and is deficient by three feet. **The applicant should revise the site plan to meet the required parking setback or this would be a deviation from the ordinance.**
7. Parking Space Dimensions: Parking spaces arranged at a 90° angle are required to be 9 feet wide. Some the parking spaces adjacent to curbs appear to be approximately 7 feet wide. The applicant should confirm the width of all parking spaces and make adjustments where necessary on the Final Site Plan.
8. Barrier Free Signs: One barrier free sign is required for each space. No signs are shown. The applicant should show the barrier free sign locations on Sheet C-2 on the Final Site Plan.
9. Loading Zone Screening: Per Section 2302A.1 of the Zoning Ordinance, view of loading and waiting areas must be shielded from adjacent properties. There appears to be no screening proposed for the loading zone for the rear lot line along the adjacent High School property. **The applicant should provide screening for the rear of the loading zone or this would be a deviation from the ordinance.**

10. Drive-through Lane Delineation: Per Section 2506, drive-through lanes shall be striped, marked or otherwise delineated. No pavement markings or signs are shown. The applicant should include signs and/or pavement markings delineating the book drop-off drive-through area on Sheet C-2 on the Final Site Plan.
11. Width and Centerline Radius for Drive-through: Drive-through lanes should have a minimum width of 9 feet and a centerline radius of 25 feet. Our initial calculations appear to meet the requirements. The applicant should indicate the width and centerline radius of the proposed book drop-off drive-through lane on Sheet C-2 on the Final Site Plan.
12. Accessory Structure Setback: Per Section 2503 of the Zoning Ordinance, accessory structures should be setback a minimum of 10 feet from any building unless structurally attached to the building. The proposed dumpster is setback approximately three feet from the proposed building. **The applicant should adjust the dumpster location to be adequately setback from the proposed building, attach the enclosure to the building or this would be a deviation from the ordinance.**
13. Dumpster Screening: Dumpsters should have screening of not less than five feet on three sides of the dumpster. Interior bumpers or posts should also be shown. The dumpster enclosure should match building materials and be at least one foot taller than the height of the refuse bin. The applicant should provide dumpster enclosure/screening details with the next plan submittal.
14. Site Lighting: The average/minimum photometric ratio shall not exceed 4:1. The lighting appears to be in compliance but it will have to be confirmed at the time of Final Site Plan. The applicant should provide the average/minimum ratio for the site as a whole on the Final Site Plan.
15. Plan Assembly: For future plan submittals, plans should be stapled and then folded together. If the plans cannot be stapled and folded as an entire set, then two or three logical divisions should be made and the two or three "plan packages" should be stapled and folded.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the matter being reviewed by the Planning Commission.** Additionally, a letter from the applicant is requested to be submitted with the next set of plans submitted highlighting the changes made to the plans addressing each of the comments listed above.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. To give you an advance notice of the requirements and what must be in place prior to the Pre-Con, a sample Pre-Con checklist is attached. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Planning Review of Preliminary Site Plan

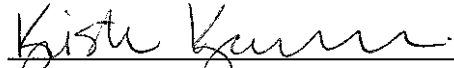
Novi Public Library

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April 17, 2008

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If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, Planner

Attachments: Planning Review Chart
 Lighting Review Chart

.Planning Review Summary Chart

Novi Public Library
 Preliminary Site Plan Review
 SP# 08-17

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Public Facility	No change	Yes	
Zoning	R-4, One-Family Residential	No change	Yes	
Permitted Uses	See section Article 4 of the Zoning Ordinance	Public library	Yes	
Building Height (Sec. 2400)	35 feet (2.5 stories)	Approx. 36' (to top of skylight)	No	Applicant should adjust the height of the building to meet the standards or this would be a deviation from the ordinance.
Building Setbacks (Sec. 2400)				
Front (North)	75 feet or the height of the main building, whichever is greater	60 feet (from ROW line)	No	Building must be setback 75 feet from the right-of-way line or this would be a deviation from the ordinance.
Interior Side (East)		100 feet +	Yes	
Interior Side (West)		80 feet +	Yes	
Rear (South)		75 feet	Yes	
	No more than 30% of setback shall be used for parking, maneuvering lanes, loading and dumpster.		Yes	
Parking Setbacks – Section 2400				

Item	Required	Proposed	Meets Requirements?	Comments
Front (North)	75 feet	72 feet	No	Applicant should adjust parking to be setback 75 feet from the right-of-way line or this would be a deviation from the ordinance.
Interior Side (East)	20 feet	82 feet	Yes	
Interior Side (West)	20 feet	100 feet +	Yes	
Rear (South)	20 feet	27 feet	Yes	
Number of Parking Spaces (Sec. 2505)	1 space for each 350 sq. ft. 55,227 sq. ft./350 = 158 spaces required	181 spaces provided	Yes	
Parking Space Dimensions (Sec. 2506)	Spaces should be 9 feet wide by 19 feet deep with a 24-foot wide aisle; when adj. to landscaping or when a 4" curb is indicated, spaces can be 17 feet deep, with a 2 foot overhang into the landscaped area	Most spaces sized appropriately. See comments.	No	Spaces adjacent to curbs appear to be only 7' wide in instances throughout the site. The applicant should adjust the space width where appropriate to be 9' wide. Applicant should indicate 4" curbs where 17' spaces are shown.
Barrier Free Spaces (Barrier Free Code)	6 barrier free spaces required	9 barrier free spaces (4 van accessible) provided	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8 feet wide with a 5 foot wide access aisle for standard b.f. 8 feet wide with an 8 foot wide access aisle for van accessible	Barrier free spaces sized appropriately.	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space	No signs shown.	No	One sign should be shown for each barrier free space on Sheet C-2.
Loading Spaces (Sec. 2507)	All loading shall be in the rear yard or interior side yard if double fronted lot.	Loading space provided in the rear yard	Yes	
Loading Space Screening (Sec. 2302A.1)	View of loading and waiting areas must be shielded from rights of	Proposed loading screened from Ten Mile Road by	No	Applicant should provide screening effectively screen

Item	Required	Proposed	Meets Requirements?	Comments
	way and adjacent properties.	proposed building and from the eastern property line by fence. No screening proposed for rear lot line along adjacent property.		the loading zone from the adjacent property or this would be a deviation from the ordinance.
Stacking Spaces for Drive-thru (Sec. 2506)	No standard for library book drop-offs.	Three stacking spaces shown although it appears additional cars could fit in the drive-through lane.	Yes	
Drive-thru Lane Delineated (Sec. 2506)	Drive-thru lanes shall be striped, marked, or otherwise delineated.	No markings proposed.	No	The applicant should clearly delineate the drive-thru on Sheet C-2 with signage and/or pavement markings.
Bypass Lane for Drive-through (Sec. 2506)	Drive-through facilities shall provide 1 bypass lane. Such bypass lane shall be a minimum of 18' in width, unless otherwise determined by the Fire Marshal.	Considering the short span of the drive-through area, the adjacent circulation aisle can serve as a bypass lane.	Yes	
Width and Centerline Radius of Drive-through Lanes (Sec. 2506)	Drive-through lanes shall have a minimum 9' width and centerline radius of 25'.	11' width. No centerline radius shown.	No	Applicant should label the centerline radius on Sheet C-2.
Drive-through Lanes Separation (Sec. 2506)	Drive-through lanes shall be separate from the circulation routes and lanes necessary for ingress to, and egress from, the property.	Drive-through lanes are situated on the interior side (east) of the proposed structure.	Yes	
Accessory Structure Setback- Dumpster (Sec. 2503)	Accessory structures should be setback a minimum of 10 feet from any building unless structurally attached to the building and setback the same as parking from all property lines; in addition, the structure must be in the rear or interior side yard.	Dumpster enclosure at the rear of the site and set back 20 feet+ from rear property line and 3 feet from proposed building.	No	Dumpster should be set back at least 10' from the proposed building or attached to the building.
Dumpster (Chap. 21,	Screening of not less than 5 feet on 3 sides of	No enclosure details provided.	No	Applicant should include dumpster

Item	Required	Proposed	Meets Requirements?	Comments
Sec. 21-145)	dumpster required, interior bumpers or posts must also be shown. Enclosure to match building materials and be at least one foot taller than height of refuse bin.			enclosure details.
Lighting (Section 2511)	Photometric plan required at the time of Preliminary Site Plan due to site being adjacent to residentially zoned property	Photometric plan provided.	See attached lighting review chart.	
Sidewalks (City Code Sec. 11-276 (b))	An 8' wide pathway shall be constructed along Ten Mile Road as required by the City's Pedestrian and Bicycle Master Plan. Building exits must be connected to sidewalk system or parking lot.	Existing pathway present along Ten Mile Road. Building exits connected to proposed parking lot.	Yes	
Secondary Access	Two access points are required for every property unless otherwise indicated by the Fire Department.	One access point provided on Novi Road with an emergency access provided from the entrance drive to the municipal complex.	Yes	

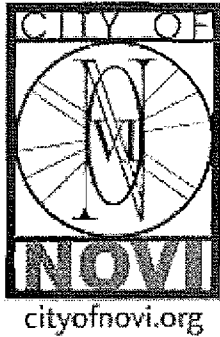
Lighting Review Summary Chart
 Novi Public Library SP 08-17
 Preliminary Site Plan

Bolded items must be addressed at the time of Final Site Plan

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> • Photometric data • Fixture height • Mounting & design • Glare control devices • Type and color rendition of lamps • Hours of operation • Photometric plan 	Yes	
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes (Section 2511.3.b)	<ul style="list-style-type: none"> • Electrical service to light fixtures shall be placed underground 	Yes	

Item	Required	Meets Requirements?	Comments
	<ul style="list-style-type: none"> • No flashing light shall be permitted • Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation. 		
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes?	Applicant should indicate average/minimum ratio for the entire site.
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	Metal halide shown.
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> • Parking areas 0.2 min • Loading and unloading areas 0.4 min • Walkways 0.2 min • Building entrances, frequent use 1.0 min • Building entrances, infrequent use 0.2 min 	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

April 17, 2008

Preliminary Landscape Review

Novi Public Library SP#08-17

Petitioner

BEI Associates Inc.

Property Characteristics

- Site Location: Ten Mile Road
- Site Zoning: R-4
- Site Use(s): Public Facility
- Plan Date: January 28, 2008

Recommendation

Approval of the Preliminary Site Plan for 08-17 Novi Public Library is recommended provided the Applicant receives the necessary Planning Commission waivers. Please address all minor comments upon Final Site Plan Submittal.

Ordinance Considerations

Residential Adjacent to Non-Residential (Sec. 2509.3.a)

1. Residential buffering requirements do not apply.

Adjacent to Rights-of-Way (Sec. 2509.3.b)

1. A 3' high berm with a 2' crest is required along public and private road frontages adjacent to parking or vehicular access areas. The berm has been provided, but should be depicted on the Landscape Plan.
2. A 20' wide greenbelt is required adjacent to parking. A much larger setback has been provided.
3. One Greenbelt Canopy Tree per 35 LF of road frontage is required and has been provided.
4. Canopy Street Trees are required at one per 35 linear feet along the Ten Mile Road frontage between the sidewalk and the road. None have been provided. The Road Commission for Oakland County has not allowed Canopy Street Trees through this stretch of road. **Staff supports a Planning Commission waiver for the Canopy Street Trees.**
5. Multiple existing trees are proposed to remain. All trees to remain must be guaranteed to survive and maintain good health through the landscape warranty period.

Parking Area Landscape Requirements (Sec. 2509.3.c)

1. Required calculations for Interior Parking Lot Landscape Area have been provided. The Applicant has included bioswales that will be attractive and environmentally sound site features. Appropriate native seeding will be utilized.
2. A total of 76 Parking Lot Canopy Trees are required. Counting all of the proposed trees, including the Perimeter Parking Lot Trees, the Applicant has met this requirement.

Building Perimeter Landscaping (Sec. 2509.3.d. & LDM)

1. Per Section 2509.3.d.(2)(b), "For the front and any other facades visible from a public street, a minimum of sixty (60) percent of the exterior building perimeter will be greenspace planted with trees, shrubs and groundcovers, perennials, grasses annuals and bulbs." Please provide these building perimeter plantings where appropriate. Access areas are exceptions.
2. The required minimum 4' wide landscape bed around the entire building perimeter exclusive of access points has been provided.
3. A total of 8' x the building foundation perimeter of landscaped foundation area is required and has been provided.
4. Please note that the Applicant has included amenities such as ornamental fencing, decorative pavement, flagpoles and seat walls that will be attractive additions to the site.

Loading/ Unloading Area (Sec. 2507)

1. The loading zone has been properly sited and screened.

Plant List (LDM)

1. Please adjust the estimated costs for the plantings per the City of Novi standard costs as attached.

Plan Notes & Details (Sec. 2509. 4. 5. 6. & 7.)

1. Please include the standard City of Novi Planting Notations as attached.
2. Please address all minor issues identified on the Landscape Review Chart.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. The appropriate section of the applicable ordinance is indicated in parenthesis. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.



Plan Review by: David R. Beschke, RLA – (248)-735-5621

Landscape/ Woodland Cost Estimates

Listed below are the costs to be used on all City of Novi Landscape Plan estimates:

Landscape Plantings:

Deciduous Canopy Trees	\$400.00
Street Trees	\$400.00
Evergreen Trees	\$325.00
Sub-canopy Ornamental Trees	\$250.00
Shrubs	\$50.00
Perennials	\$15.00
Lawn Seed / Sq. Yd.	\$3.00
Sod / Sq. Yd.	\$6.00
Labor Hour	\$50.00

Transformers, each. \$500.00

Maintenance Fees for Street Trees:

Developer planting	\$20.00
City Planting	\$25.00

Woodland Fees:

Replacement value	\$400.00
8"-11" d.b.h.	(1) Tree Rep. Value
11"-20" d.b.h.	(2) Tree Rep. value
>20" d.b.h.	(3) Tree Rep. Value

Landscape Review Summary Chart

Date: April 7, 2008

Project Name: Novi Public Library
 Project Location: Ten Mile Road
 Sp #: 08-17
 Plan Date: 4/3/08
 Review Type: Preliminary Landscape Plan
 Status: **Approval recommended with appropriate waiver.**

Item	Required	Proposed	Meets Requirement	Comments
Name, address and telephone number of the owner and developer or association.(LDM 2.a.)	Yes	Yes	Yes	Include on plan sheets.
Name, Address and telephone number of RLA (LDM 2.b.)	Yes	Yes	Yes	Include on plan sheets.
Legal description or boundary line survey.(LDM 2.c.)	Yes	Yes	Yes	Include on plan sheets.
Project Name and Address (LDM 2.d.)	Yes	Yes	Yes	Include on plan sheets.
A landscape plan 1"-20' minimum. Proper North. (LDM 2.e.)	Yes	Yes	Yes	
Consistent Plans throughout set.	Yes	Yes	Yes	All plan sheets much match.
Proposed topography. 2' contour minimum (LDM 2.e.(1))	Yes	Yes	Yes	Provide proposed contours at 2' interval for the entire site.
Existing plant material. (LDM 2.e.(2))	Yes	Yes	Yes	Show location type and size. Label to be saved or removed. Plan shall state if none exists.
Proposed plant material. (LDM 2.e.(3))	Yes	Yes	Yes	Identify all, including perennials.
Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W. (LDM 2.e.(4))	Yes	Yes	Yes	
Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))	Yes	Yes	Yes	
Clear Zone (LDM 2.3.(5) - 2513)	Yes	Yes	Yes	
Zoning (LDM 2.f.)	Yes	Yes	Yes	Include all adjacent zoning.
Sealed by LA. (LDM 2.g.)	Yes	Yes	Yes	Requires original signature.
Plant List (LDM 2.h.) – Include all cost estimates.				
Quantities	Yes	Yes	Yes	
Sizes	Yes	Yes	Yes	Canopy trees must be 3" in caliper. Sub-Canopy trees must be 2.5" in caliper.
Root	Yes	Yes	Yes	
Type and amount of mulch	Yes	Yes	Yes	Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.

Item	Required	Proposed	Meets Requirement	Comments
Type and amount of lawn	Yes	Yes	Yes	Include in cost estimate.
Acceptable species	Yes	Yes	Yes	Per the Landscape Design Manual.
Diversity	Yes	Yes	Yes	Max. 20% Genus, 15% Species.
Planting Details/Info (LDM 2.i.) – Utilize City of Novi Standard Details.				
Deciduous Tree	Yes	Yes	Yes	
Evergreen Tree	Yes	Yes	Yes	
Shrub	Yes	Yes	Yes	
Perennial/ Ground Cover	Yes	Yes	Yes	
Transformers (LDM 1.e.5.)	Yes	Yes	Yes	Show locations and provide 24" clear of plantings on all sides.
Cross-Section of Berms (LDM 2.j.)	Yes	Yes	Yes	Provide all proposed dimensions.
ROW Plantings (LDM 1)	Yes	Yes	Yes	Include required calculations.
Walls (LDM 2.k.)	NA			
Landscape Notations – Utilize City of Novi Standard Notes.				
Installation date (LDM 2.l.)	Yes	No	No	Provide intended date.
Statement of intent (LDM 2.m.)	Yes	No	No	Include statement of intent to install and guarantee all materials for 2 years.
Plant source (LDM 2.n.)	Yes	No	No	Indicate Northern grown nursery stock.
Miss Dig Note (800) 482-7171	Yes	No	No	All plan sheets.
Mulch type.	Yes	Yes	Yes	Natural color, shredded hardwood mulch.
2 yr. Guarantee	Yes	No	No	
Approval of substitutions.	Yes	No	No	City must approve any substitutions in writing prior to installation.
Tree stakes guy wires.	Yes	Yes	Yes	No wire, hose or <i>plastic</i> .
Maintenance	Yes	No	No	Include a minimum of one cultivation in June, July and August for the 2-year warranty period.
Car Parking (Landscape) Setback (2400)	Yes	Yes	Yes	
Parking Area Landscape Calculations (LDM 2.0.)				
A. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	Yes			A = 42323 x 10% = 4232 sf
B. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	Yes			B = 27918 x 5% = 1396 sf
C. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC,	NA			C = 5749 x 1% = 57.5 sf

Item	Required	Proposed	Meets Requirement	Comments
EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district				
A. For: I-1 and I-2 Landscape area required due to # of parking spaces	NA			A = 7% x = SF
B. For: I-1 and I-2 Landscape area required due to vehicular use area	NA			B = 2% x = SF
C. For: I-1 and I-2 Landscape area required due to vehicular use area	NA			C = 0.5% x = SF
Total A, B and C above = Total interior parking lot landscaping requirement	Yes	Yes	Yes	5686 SF required and provided.
Parking lot tree requirement	Yes	Yes	Yes	
Perimeter greenspace Plantings	Yes	Yes	Yes	Perimeter trees provided at 1 per 35 LF.
Parking Lot Plants				
Max. 15 contiguous space limit	Yes	Yes	Yes	
Parking Land Banked	NA			
Interior Landscape requirements (LDM.2.p.)	Yes	Yes	Yes	
Snow Deposit (LDM.2.q.)	Yes	Yes	No	Depict adequate areas on plan.
Soil Type (LDM.2.r.)	Yes	Yes	Yes	Per USDA or borings.
Irrigation plan (LDM 2.s.)	Yes	Yes	Yes	Provide irrigation plan with final site plan.
Cost Estimate (LDM 2.t.)	Yes	Yes	Yes/No	Please adjust costs per City standard costs.
Residential Adjacent to Non-residential				
Berm requirements met (2509.3.a.)	Yes	Yes	Yes	
Planting requirements met (LDM 1.a.)	Yes	Yes	Yes	
Adjacent to Public Rights-of-Way				
Berm requirements met (2509.3.b.)	Yes	Yes	Yes	
Planting requirements met (2509.3.b.- LDM 1.b.)	Yes	Yes	Yes	
Street tree requirements met (2509.3.b)	Yes	Yes	Yes	
Detention Basin Plantings (LDM 1.d.(3))	NA			
Subdivision requirements				
R.O.W. and Street Trees (2509.3.f - LDM 1.d))	NA			

Item	Required	Proposed	Meets Requirement	Comments
Single Family	NA			
40 wide non-access greenbelt				
Street Trees				
Islands and boulevards				
Multi family	NA			
Condo Trees				
Street trees				
Foundations plantings				
Non-Residential	NA			
Interior street trees				
Evergreen shrubs				
Subcanopy trees				
Plant massing				
Basin plantings				
Loading Zone Screening (2507)	Yes	Yes	Yes	Located to rear of building.
Landscape Wall or Berm for OST loading zone screening (2302.A)	NA			
Wildlife Habitat Area (Wildlife Habitat Master Plan Map)	NA			
Subdivision Ordinance Appendix C - ROW Buffer Non-Access Greenbelt (402.B3, 403.F)	NA			
Subdivision Natural Features (403.C) Man-made Bodies of Water (403.D) Open Space Areas (403.E)	NA			

Financial Requirements Review

To be completed at time of Final Site Plan Review.

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$			Includes street trees. Does not include irrigation costs.
Final Landscape Review Fee	\$			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

Financial Requirements (Bonds & Inspections)

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$		Does not include street trees. Includes irrigation (estimated).
Landscape Financial Guaranty	YES	\$ (150%)		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater. This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee (Development Review Fee Schedule 3/15/99)	YES	\$		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guarantee	YES	\$		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	YES	\$		\$400 per tree – Contact City Forester for Details
Street Tree Inspection Fee	YES	\$		6% of the Street Tree Bond as listed above. – Contact City Forester for Details
Street tree Maintenance Fee	YES	\$		\$25 per trees – Contact City Forester for Details
Landscape Maintenance Bond	YES	\$		10% of verified cost estimate due prior to release of Financial Guaranty (initial permit received after October 2004)

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 2509, Landscape Design Manual and the appropriate items under the applicable zoning classification.
2. NA means not applicable.
3. Critical items that must be addressed are in bold.
4. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.
5. For any further questions, please contact:

David R. Beschke, RLA
City of Novi Landscape Architect
45175 W. Ten Mile Road
Novi, Michigan 48375-3024
(248) 735-5621
(248) 735-5600 fax
dbeschke@cityofnovi.org

TRAFFIC REVIEW

April 21, 2008

Ms. Barbara E. McBeth
Deputy Director Community Development
45175 West Ten Mile Road
Novi, MI 48375-3024



Re: Novi Public Library – Preliminary – 1st Review
SP No. 08-17
OHM Job No. 163-08-172

As requested, we have reviewed the preliminary site plan submitted for the proposed Novi Public Library. The plans were prepared by BEI Associates, Inc. and are dated April 3, 2008.

OHM RECOMMENDATION

At this time, we recommend approval of the preliminary site plan. The items listed below should be corrected prior to final plan submittal.

DEVELOPMENT BACKGROUND

- The site is currently zoned as R-4 (One-Family Residential District).
- The property contains approximately 7 acres.
- The applicant is proposing a two-story public library.
- The library will be approximately 55,000 SFT.

ROADWAY NETWORK

The development is located east of Taft Road, on the south side of 10 Mile Road. 10 Mile is functionally classified as an arterial route with a posted speed of 45 mph. and is under the jurisdiction of the Road Commission of Oakland County (RCOC). Taft is considered a minor arterial with a posted speed limit of 35 mph, and falls within the jurisdiction of the City of Novi. The site will utilize an existing drive approach on 10 Mile. There will also be a driveway that connects to the boulevard HS drop-off area, and an area for the dumpster/loading zone that is accessible via the HS parking lot.

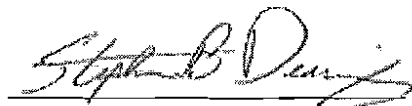
SITE PLAN CORRECTIONS

1. AutoTurn Template: Please provide an AutoTurn truck template showing that a garbage truck would be able to access the dumpster in the rear of the building. While we realize that a truck would have to reverse into this area, the driver may have difficulty entering the drive without running over the curb and/or the raised islands in the parking lot.
2. Sidewalk: The sidewalk along the 10 Mile Road right-of-way should be extended through the driveway opening, and the ramps shown at the driveway should be eliminated. The driveway should be sloped to meet the grade of the sidewalk, as shown in MDOT Standard Detail R-29-E.
3. ADA Ramps: All ramps should be clearly labeled by type (Type R, P, etc). Additionally, the plans should include a copy of the most recent version of the MDOT Special Detail for Sidewalk Ramps (R-28-F). We recommend that Type P Parallel sidewalk ramps be used along the bank of handicap parking stalls.
4. Sign Quantity Table: The plans should include a traffic sign quantity table, on Sheet C-9. The table shall include a brief description, sign code, dimensions, and quantity for each sign type.

5. Traffic Signs: We recommend that the 'No Parking' (R8-3a) signs shown be replaced by 'No Parking Fire Lane' (R7-9a MOD) signs. Additionally, all traffic signs should be shown on the plans.
6. Driveways: The plans should consistently show the location of all existing driveways in the vicinity of the site, on both the same and opposite side of the road. For example, although the overall site plan (C-2) shows all nearby driveways, the following plan sheet (C-3) does not.
7. Parking Calculations: Parking calculations should be shown on the plans.
8. Gated Access: Previous site plans had indicated a gate at the easterly drive. If a gate is to be used, the location of the gate should be clearly shown. If a gate will not be used, the response letter should indicate as such. In either case, additional traffic signs should be added at this location ('Do Not Enter', 'One-Way', etc.) as appropriate.
9. Raised Cross-walks: Although we note a detail for the raised cross-walk, it is unclear as to which cross-walks will be raised. Please be more specific as to where the detail applies, clearly denoting locations on both the plan sheet and the detail.
10. Drop-Off Area: At the drop-off area in front of the main library entrance, the narrow ramp appears as a pedestrian ramp leading into the parking lot. In order to create the appearance of a loading/drop-off area, the ramp should be significantly widened (to roughly 3X the proposed width). In order to delineate sidewalk from the parking lot through this area, a detail M curb (or similar) may be used.

If you have any concerns or questions, please feel free to contact us at 734-522-6711.

Sincerely,
Orchard, Hiltz & McCliment, Inc.



Stephen B. Dearing, P.E., PTOE.
Manager of Traffic Engineering



Sara A. Merrill
Traffic Engineer

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

April 22, 2008

Engineering Review

Novi Public Library
SP #08-11

Petitioner

BEI Associates, Inc.

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: South side of Ten Mile, east of Taft Road.
- Site Size: 7.0 acres
- Date Received: April 3, 2008

Project Summary

- Construction of a new library and associated parking. Site access would be provided by the existing entrance on Ten Mile. A secondary access point would be provided to the east where the library's existing secondary access point exists. A third access to the south side of the building will be provided by a connection to the existing school parking lot.
- Water service would be provided by a connection to the existing 8-inch water main to the south on the school property. A 3-inch domestic lead and a 6-inch fire lead are proposed to serve the building. One new hydrant is proposed south of the building, and one hydrant is proposed to be relocated along Ten Mile.
- Sanitary sewer service would be provided by a lead connection to the existing 8-inch sanitary to the south on the school property.
- Storm water from the site would be routed through one of three bioswales, each sized for the first flush volume for pretreatment of the runoff. Parking lot drainage would sheet flow to the bioswales. Each bioswale will discharge at controlled rates to the existing storm sewer system that drains to the Civic Center Regional Detention Basin.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Label the 60-foot half right-of-way as "proposed right-of-way" on the site plan. Also, if any modifications are proposed to the lane striping on Ten Mile, show the existing/proposed Ten Mile striping on the plan.
2. Barrier free parking stalls are only required to have an access aisle adjacent to one side of the stall. The current plan shows additional access aisles beyond what is required in the Michigan Barrier Free standards.
3. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
4. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
5. Access easements will be required for the southern access to the building, and also for the existing eastern access point if one does not currently exist. The access easements will be required across the school property to the road right-of-way. Indicate whether or not the eastern access is to remain gated.
6. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
7. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.

Water Main

8. The proposed hydrant shall be served by an 8-inch diameter water main. The size of the main between the hydrant and the building can be reduced, assuming it will adequately serve the building.
9. An MDEQ permit will be required for the public main installation (water main up to and serving the new hydrant) and for the relocated hydrant. The permit application shall be submitted once the water main design is complete. A profile shall be provided for the 8-inch main.
10. The proposed point of connection to the existing water main is shown off-site on the school property. An easement will be required if one does not exist. Use of the existing lead should be considered if it is an 8-inch diameter lead.
11. Two 45-degree bends shall be provided on the 8-inch main in lieu of the 90-degree water main bend shown.

Sanitary Sewer

12. The location of the sanitary sewer to be tapped shall be verified. If the point of connection is off-site on the school property, an easement will be required from the school unless the existing lead and/or easement can be utilized.

13. Provide a sanitary sewer basis of design for the development on the utility plan. An 8-inch sanitary lead is currently shown; however a 6-inch lead should adequately serve the building.
14. If a new sanitary lead is proposed the lead shall connect to the existing sewer via a wye, rather than a direct connection to the manhole. The sanitary lead shall maintain a 2-percent slope if available (minimum 1-percent).

Storm Sewer

15. Storm sewer shall maintain a minimum cover depth of 3 feet. According to the chart on Sheet C-4 a few pipe segments would not have the minimum cover depth. Since the Utility Plan does not label the storm structures, the locations where this occurs could not be determined. If any pipe segments cannot be designed at proper depth, contact the Engineering Department to discuss further.
16. Indicate on the plans whether the storm sewer under the existing pavement (east of the proposed pavement limits) will remain or be removed when the pavement is removed.
17. Provide an explanation for the two 15-inch storm sewers proposed at the south end of the building. This appears to be conveying roof drainage only. If so, smaller pipes can generally be used. Flows requiring 15-inch storm sewers may exceed the capacity of the bioswale accepting the flow.

Storm Water Management Plan

18. The bioswales, plunge pools, drainage swales and all other critical storm water components shall be labeled on the Storm Water Management Plan (proposed site layout).
19. It is assumed that the parking lot bioswale will be surrounded by curb with curb drops at the plunge pool locations. Clarify these details for the next plan submittal.
20. For clarity, some information on the Storm Water Management Plan should be reoriented (and some removed) to avoid unnecessary overlapping of text.
21. The planting soil layer shall be designed to provide nutrients to the plantings and to act as a filtering media. This layer shall consist of a mixture such as 50% topsoil/50% sand or 20% topsoil/60% sand/20% compost, or similar.
22. Provide a detail for the outlet control structures for each of the three locations indicating elevations, inverts, etc. for each bioswale design. The outlet control structures shall contain a 4-foot deep sump to allow for sediment accumulation.
23. Provide rim elevations for each of the bioswales overflow structures on the grading plan and utility plan.
24. The storm structure downstream of the parking lot bioswale overflow structure shall be designed as a secondary overflow structure to control flows in the event of a blockage in the primary structure.
25. Make sure the layers of the 'Plunge Pool' and 'Bioswale Drainage' details on Sheet C-4C are consistent (i.e. the 1'-6" engineered soil layer and underlying layers).
26. A geotextile filter fabric shall be provided to separate the planting material from the underdrain and in-situ material.

27. Highlight the calculations comparing pre- and post-development discharge rates provided on Sheet C-4C.
28. Provide a note within the 100-yr detention calculation section indicating that the Civic Center Regional Detention Basin is being utilized. Either move the note on the left side of Sheet C-4C, or add a brief note to the calculation box.
29. The runoff coefficients should be provided as a column in the tables provided on Sheet C-4C. Refer to Section 2.1.1 of the Chapter 5 in the Engineering Design Manual for coefficients to be used. The "C x A" calculations provided could not be duplicated.
30. The flow rate calculations provided on Sheet C-4C are using the intensity formula for a 10-year storm. The 100-year storm intensity formula [$I=275/(t+25)$] shall be used, with $t=20$. Also, this calculation is provided below the "First Flush" heading, which is misleading. An additional heading may be required for clarification.
31. The first flush volumes on Sheet C-4C calculated for the three bioswales areas could not be duplicated using the values provided in the tables. Furthermore, the three volumes provided do not equal the "Forebay Design" total listed. Since a forebay design is not being proposed, the term 'first flush' should be use in place of 'forebay'.
32. The plan shall note where the storm water storage is provided, assumed to be the 36-inch gravel layer (currently labeled as 36-foot in the detail on Sheet C-4C). The storage volume for each bioswale shall be listed individually.
33. Each underdrain will require access for periodic maintenance. It is assumed that the outlet control structure will allow for maintenance. Consider providing a cleanout on the end opposite the control structure to aid in cleaning the underdrain. Provide a note on the plan describing these features, and verify landscaping will not interfere with future maintenance activities.
34. All on-site soil boring information shall be provided to the Engineering Department for review of soil conditions and high water elevation of the groundwater table.

Paving & Grading

35. Detectable warning surfaces are required at all barrier free ramps, hazardous vehicular crossings and other areas where the sidewalk is flush with the adjacent drive or parking pavement. The required locations shall be discussed prior to the final site plan submittal. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the MDOT standard detail (R-28-F) for detectable surfaces.
36. Provide spot grades at the downstream end the swale proposed west of the building. Generally, swales shall be designed with a slope of 1.5-percent, with a minimum slope of 1-percent. It appears the swale is designed at around 0.5-percent or less. The swale shall be re-graded to provide adequate slope to ensure the swale will properly drain.
37. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this grade.
38. The right-of-way sidewalk shall continue across the drive approach. The sidewalk shall be increased to 6/8-inches thick along the crossing. Provide additional spot

grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.

39. The drop off lane shall have a minimum centerline radius of 25 feet, and shall be labeled on the plans.
40. As proposed, approximately 160 feet of asphalt path will remain west of the library entrance. This will be the only asphalt path remaining along Ten Mile between Taft Road and the library frontage. Consider replacing this section of asphalt path along with the currently proposed concrete path replacement.

The following must be submitted at the time of Final Site Plan submittal:

41. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
42. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water storage system (bioswale construction and control structures).

The following must be submitted at the time of Stamping Set submittal:

43. Executed copies of the required off-site utility and access easements shall be submitted prior to final plan approval.

The following must be addressed prior to construction:

44. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
45. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
46. The current plans do not show any work proposed in the Novi Road right-of-way. If future plan modifications include improvements to the drive approach, a permit for work within the right-of-way of Novi Road must be obtained from the City of Novi and the Road Commission for Oakland County.
47. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
48. Construction Inspection Fees will be determined once the construction cost estimate is submitted and will be accounted for by the City.

Engineering Review of Preliminary Site Plan

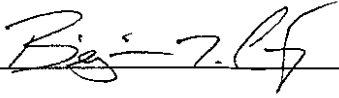
Novi Public Library

SP# 08-17

April 22, 2008

Page 6 of 6

Please contact Benjamin Croy, PE at (248) 735-5635 with any questions or concerns.



cc: Rob Hayes, City Engineer
Kristen Kapelanski, Community Development Department
Tina Glenn, Water & Sewer Dept.

FAÇADE REVIEW

METCO SERVICES, INC.

ENGINEERS, ARCHITECTS, & SURVEYORS

23917 Cass St. · Farmington · Michigan · 48335 · (248) 478-3423 · Fax (248) 478-5656

April 22, 2008

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: **FACADE ORDINANCE – Preliminary Site Plan Review**
Novi Public Library
SP08-17
Façade Region: 1 (10 Mile Road)
Zoning District: R-4
Size: **1 New Building, 2-stories – 55,000 Sq. Ft.**

Dear Ms. McBeth:

The following is the Façade Review for preliminary site plan review regarding the drawings prepared by Diamond and Schmitt Architects, dated April 3, 2008 for compliance with Novi Ordinance 2520; the Façade Ordinance. The percentages of materials proposed are as shown below. A “check” by the percentage signifies that the range is within the ordinance guidelines, while an “x” indicates an overage. The maximum percentages allowed by the Schedule Regulating Façade Materials are shown in the right hand column.

Drawings Dated 4-3-08	NORTH FACADE	SOUTH FACADE	EAST FACADE	WEST FACADE	ORDINANCE MAXIMUM
NATURAL BRICK (Modular and Jumbo)	85% ✓	64% ✓	72% ✓	22% X	100% (30% Min.)
SPANDRAL GLASS	6% ✓	7% ✓	10% ✓	32% ✓	50%
PRECAST CONCRETE	2% X	2% X	4% X	9% X	0%
FLAT METAL PANEL	5% ✓	7% ✓	3% ✓	24% ✓	50%
WOOD VENEER PANEL	5% X	0% ✓	4% X	12% X	Not Defined
LOUVRE	2% X	20% X	7% X	1% X	Not Defined

Recommendations:

1. The applicant will be required to obtain a section 9 waiver for the use of Precast Concrete on all four facades because it is a prohibited material for Region 1. This material is designed in such a way as to minimize its appearance and still provide reasonable functional requirements. The applicant has chosen a warm hue mixture in the precast material that may resemble cast stone which is allowed in Region 1 up to 25%. The use of this material is harmonious with the facades and is consistent with the intent of the façade ordinance.
2. The applicant will also be required to obtain a section 9 waiver for the underage of brick material on the west façade and the use of metal louvers and wood veneer phenolic panels which are not specifically described in the façade ordinance chart. The wood panels feature real wood veneer faces with a phenolic (laminated / rigid type) backer. The architectural design incorporating the wood panels and metal louvers are configured in such a way as to enhance the overall building's aesthetic appeal and is consistent with the intent of the façade ordinance.
3. The materials shown on the sample board are consistent with the façade ordinance.
4. The drawings indicate that the trash enclosure (screening) will be composed of wood materials which is not incorporated in the major scheme of the building— this screen should match the color and texture of the building and incorporate the brick materials.

5. The City of Novi requires a Façade Inspection for all projects. The inspection will use the actual material sample board, approved by the Planning Commission, to check it against the actual materials delivered to the site.

It is our recommendation that the proposed building meets the intent and purpose of the façade ordinance and that a Section 9 Waiver would be granted.

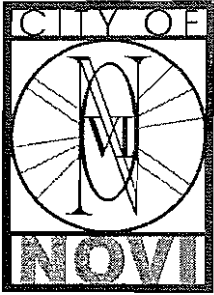
If you have any questions regarding this matter, please contact me at your convenience.

Sincerely,
Metco Services

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, with a large initial "D" and "N".

Douglas R. Necci AIA

FIRE REVIEW



248.349-2162
248.349-1724 fax

cityofnovi.org

CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Kim Capello

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City Manager
Clay J. Pearson

Fire Chief
Frank Smith

Deputy Fire Chief
Jeffrey Johnson

April 21, 2008

TO: Barbara McBeth, Deputy Director
Community Development, City of Novi

RE: Novi Public Library, SP08-17, Preliminary Site Plan
Fire Department Review

Dear Ms. McBeth,

The above plan has been reviewed and is **Recommended for Approval** with the following items being corrected on the next plan submittal.

1. The water main size to the additional hydrant being added at the southeast corner of the building shall be increased to 8" per the DCS.
2. The access drive on the east side of the building shall be identified as a "No Parking Fire Lane" as per section 15-99 of the city ordinance.
3. All weather access roads capable of supporting 35 tons shall be provided for fire apparatus access prior to construction above the foundation. This shall be noted on the plans
4. All water mains and fire hydrants are to be installed and be in service prior to construction above the foundation. This shall be noted on the plans.
5. The building address is to be posted facing the street throughout construction. The address is to at least 3 inches high on a contrasting background. This shall be noted on the plans.

Sincerely,

Michael W. Evans
Fire Marshal

cc: file

MAPS

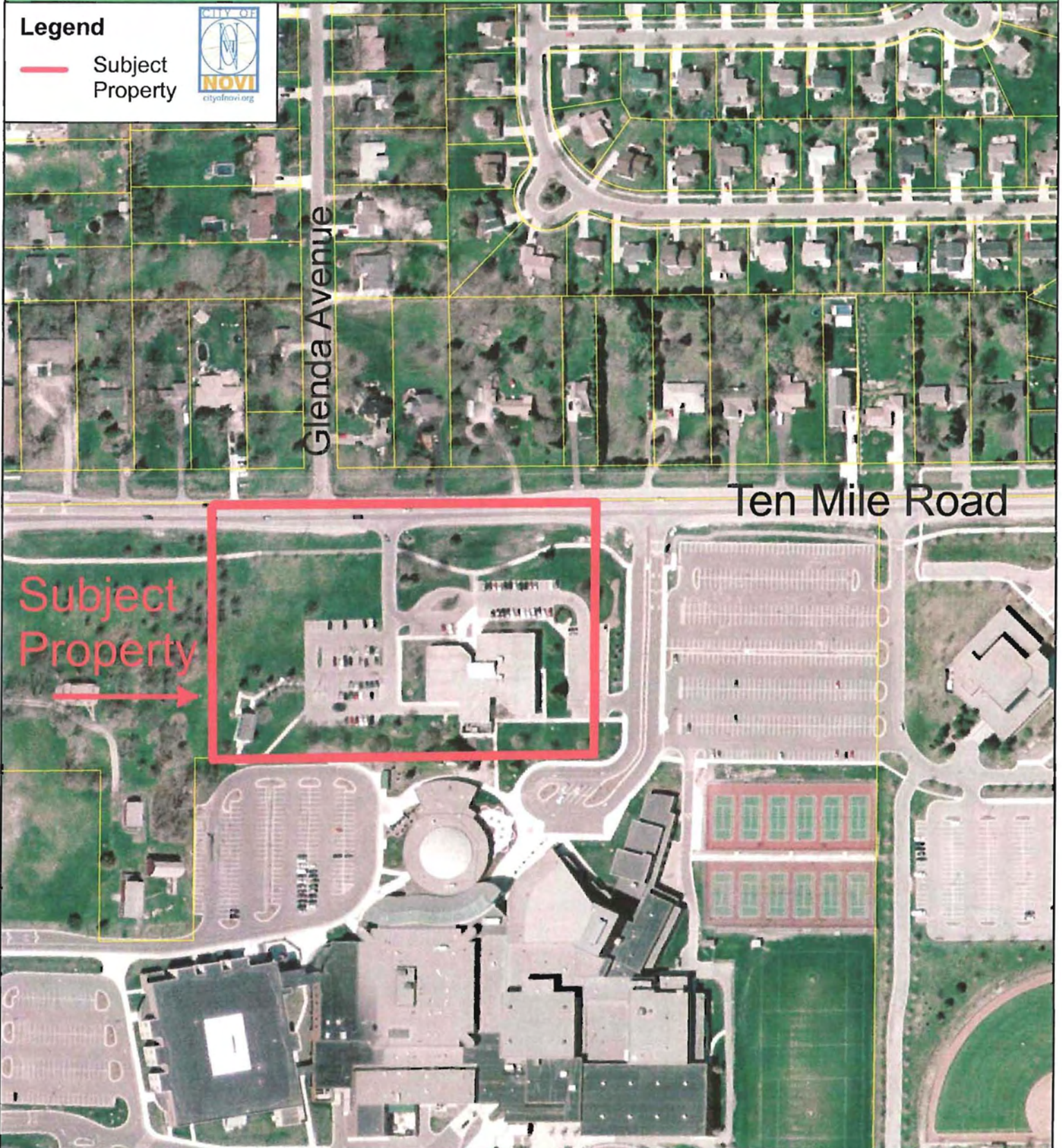
**Location/Air Photo
Zoning
Future Land Use
Natural Features**

Novi Public Library SP 08-17

Location

Legend

— Subject Property



Glenda Avenue

Ten Mile Road

Subject Property



CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0415

MAP AUTHOR: Kristen Kapelanski, Planner



0 90 180 360 540

FEET

1 INCH EQUALS 234 FEET




MAP PRINT DATE: date

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Novi Public Library SP 08-17 Zoning

Legend

-  R-4
-  OS-1
-  Subject Property



Glenda Avenue

Ten Mile Road

Subject Property



CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0415

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Novi Public Library SP 08-17

Future Land Use

Legend

-  SINGLE FAMILY
-  PUBLIC
-  EDUCATIONAL FACILITY
-  PUBLIC PARK
-  Subject Property



Glenda Avenue

Ten Mile Road

Subject Property



CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0415

MAP AUTHOR: Kristen Kapelanski, Planner



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Novi Public Library SP 08-17


Natural Features

Legend


 Wetlands

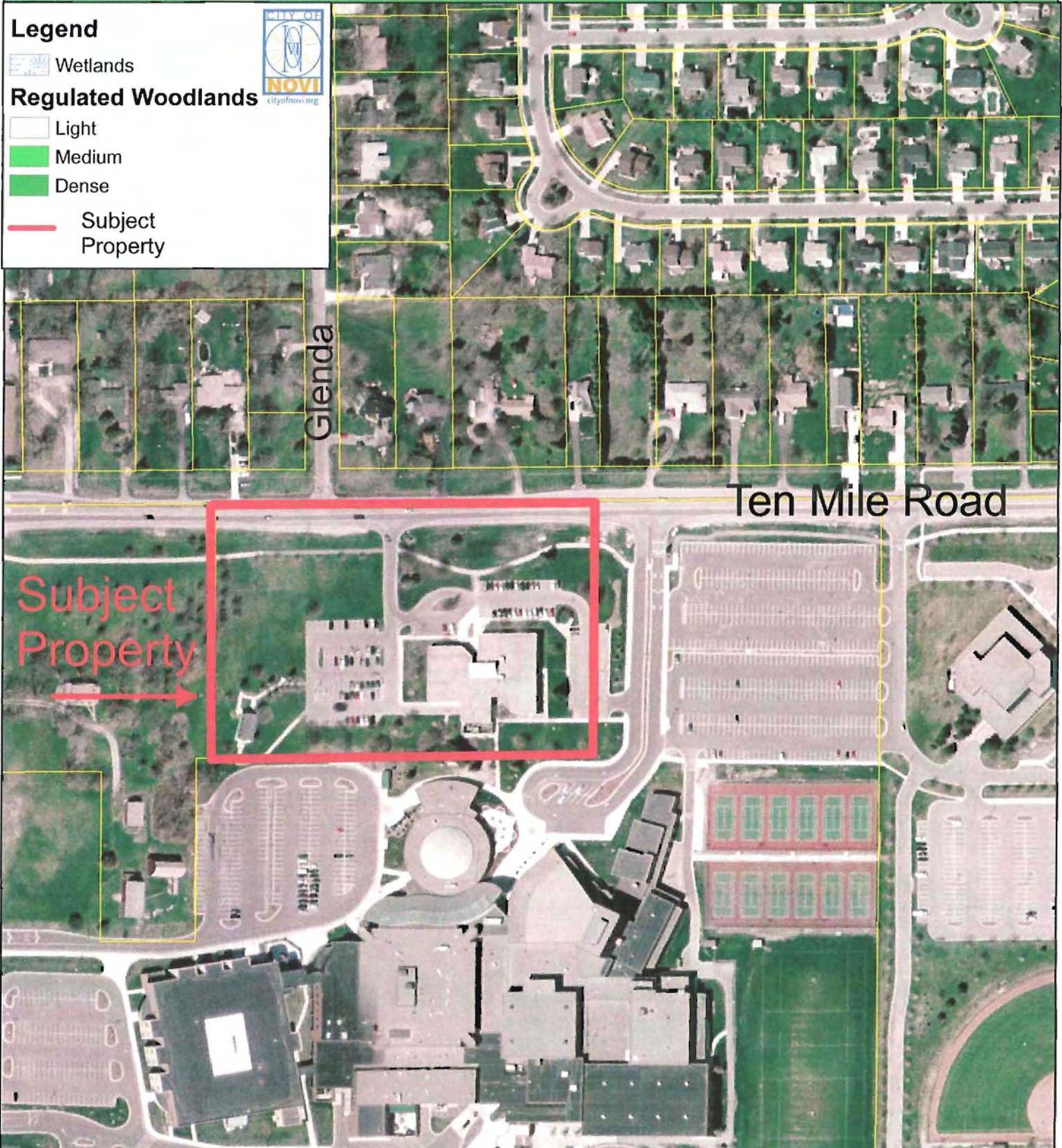
Regulated Woodlands

 Light

 Medium

 Dense

 Subject Property



CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD
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0 90 180 360 540

FEET

1 INCH EQUALS 234 FEET

MAP PRINT DATE: date

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

REDUCED SITE PLAN

