



ANCHOR TENANT SPACE - VIEW FROM THE WEST



ANCHOR TENANT SPACE - VIEW FROM THE SOUTHWEST



ANCHOR TENANT SPACE - MAIN ENTRANCE



AERIAL VIEW LOOKING NORTHEAST



ANCHOR TENANT SPACE - VIEW FROM THE SOUTH



ANCHOR TENANT SPACE - VIEW FROM THE SOUTHEAST



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NEW RETAIL
BUILDING

TWELVE MILE CROSSING
AT FOUNTAIN WALK
TWELVE MILE ROAD
NOVI, MICHIGAN

DATE	04-24-12
PROJ NO.	11004.1
DRAWN	SAB
CHECKED	SAB

ISSUED/REVISED	DATE
INITIAL SUBMITTAL	04-24-12

DRAWING TITLE
EXTERIOR RENDERINGS

CONTACT INFORMATION

CITY OF NOVI
 CLAY PEARSON
 CITY MANAGER
 PHONE: (248) 347-0420
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

CITY OF NOVI
 PLANNING DIRECTOR
 BARBARA McBETH
 PHONE: (248) 347-0587
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

CITY OF NOVI
 PLANNER
 KRISTEN KAPELANSKI
 PHONE: (248) 347-0475
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

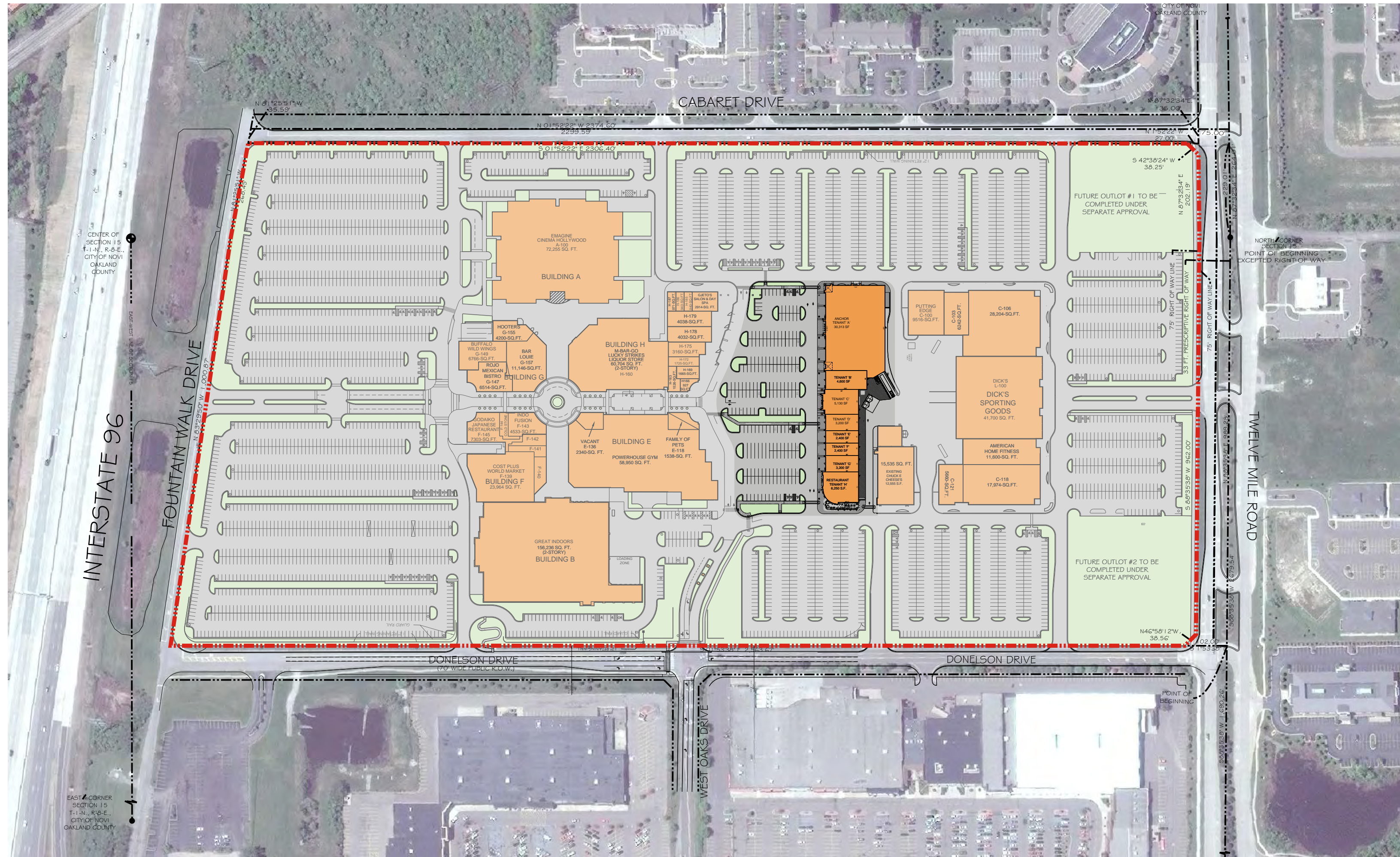
CITY OF NOVI
 MIKE EVANS
 FIRE MARSHALL
 PHONE: (248) 347-0456
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

CITY OF NOVI
 LANDSCAPE ARCHITECT
 DAVID BESCHKE, R.L.A.
 PHONE: (248) 347-0475
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

CITY OF NOVI
 CITY ENGINEER
 ADAM M. WAYNE
 PHONE: (248) 347-0454
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

PRELIMINARY SITE PLAN FOUNTAIN WALK - PHASE 4

RETAIL \ COMMERCIAL CENTER
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN
 SECTION 15, TOWN 1 NORTH, RANGE 8 EAST



SITE MAP
 1" = 200'

LEGAL DESCRIPTION:
 T1N, R8E, SECTION 15 PART OF NW 1/4 & PART OF NE 1/4 ALL DESCRIBED AS BEGINNING AT A POINT DISTANCE S 88-35-38 W 1690.26 FEET FROM NORTHEAST CORNER OF SECTION 15, THENCE S 01-53-38 E 2563.67 FEET, THENCE N 83-29-50 W 1000.87 FEET, THENCE N 81-25-51 W 268.45 FEET, THENCE N 01-52-22 W 2374.60 FEET, THENCE N 87-32-34 E 264.01 FEET, THENCE N 88-35-38 E 989.28 FEET TO THE POINT OF BEGINNING EXCEPT BEGINNING AT A POINT DISTANCE S 88-35-38 W 2679.54 FEET & S 87-32-34 W 229.01 FEET & S 01-52-22 E 75 FEET FROM NE SECTION CORNER, THENCE S 01-52-22 E 2306.40 FEET, THENCE N 81-25-51 W 35.59 FEET, THENCE N 01-52-22 W 2299.59 FEET, THENCE N 87-32-34 E 35 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT BEGINNING AT N 1/4 CORNER, THENCE N 88-35-38 E 989.28 FEET, THENCE S 01-53-38 E 102 FEET, THENCE N 46-58-12 W 38.57 FEET, THENCE S 88-35-38 W 962 FEET, THENCE S 87-32-34 W 202.19 FEET, THENCE S 42-38-24 W 38.25 FEET, THENCE N 01-52-22 W 27 FEET, THENCE S 87-32-34 W 35 FEET, THENCE N 01-52-22 W 75 FEET, THENCE N 87-32-34 E 264.01 FEET, TO THE POINT OF BEGINNING 67.21 AS-12-00 FR 001 TO 004, 072, 079,084 TO 087,126-011&013 1-14-02 CORR

- NOTE:**
- ALL WORK SHALL CONFORM TO THE CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 - A CITY OF NOVI GRADING PERMIT IS REQUIRED PRIOR TO ANY GRADING ON THE SITE. THIS PERMIT WILL BE ISSUED AT THE PRE-CONSTRUCTION MEETING. ONCE DETERMINED, A GRADING PERMIT FEE MUST BE PAID TO THE CITY TREASURER'S OFFICE.
 - A SOIL EROSION CONTROL PERMIT MUST BE OBTAINED FROM THE CITY OF NOVI. CONTACT SARAH MARCHIONI IN THE BUILDING DEPARTMENT (248-347-0430) FOR FORMS AND INFORMATION.
 - A PERMIT FOR WORK WITHIN THE RIGHT-OF-WAY. MUST BE OBTAINED FROM THE CITY OF NOVI. THE APPLICATION IS AVAILABLE FROM THE CITY ENGINEERING DIVISION AND SHOULD BE FILED AT THE TIME OF FINAL SITE PLAN SUBMITTAL. PLEASE CONTACT THE ENGINEERING DIVISION AT (248-347-0454) FOR FURTHER INFORMATION.
 - A PERMIT FOR SANITARY SEWER CONSTRUCTION MUST BE OBTAINED FROM THE MDEQ. THIS PERMIT APPLICATION MUST BE SUBMITTED THROUGH THE CITY ENGINEER AFTER THE WATER MAIN PLANS HAVE BEEN APPROVED.

ENGINEER/SURVEYOR



Matthew A Diffin, P.E.
 Principal

49308 Wainstock Street
 Wixom, MI 48393
 Phone: (248) 943-8244
 Fax: (866) 690-4307
 E-mail: m.diffin@diffin-umlor.com
 Web: www.diffin-umlor.com

Michigan, Ohio, & Florida

ARCHITECT



Scott A. Boduch, AIA
 Project Manager - Architect

7076 S. Alton Way
 Building A
 Centennial, CO 80112
 (303) 743-0002

DEVELOPER



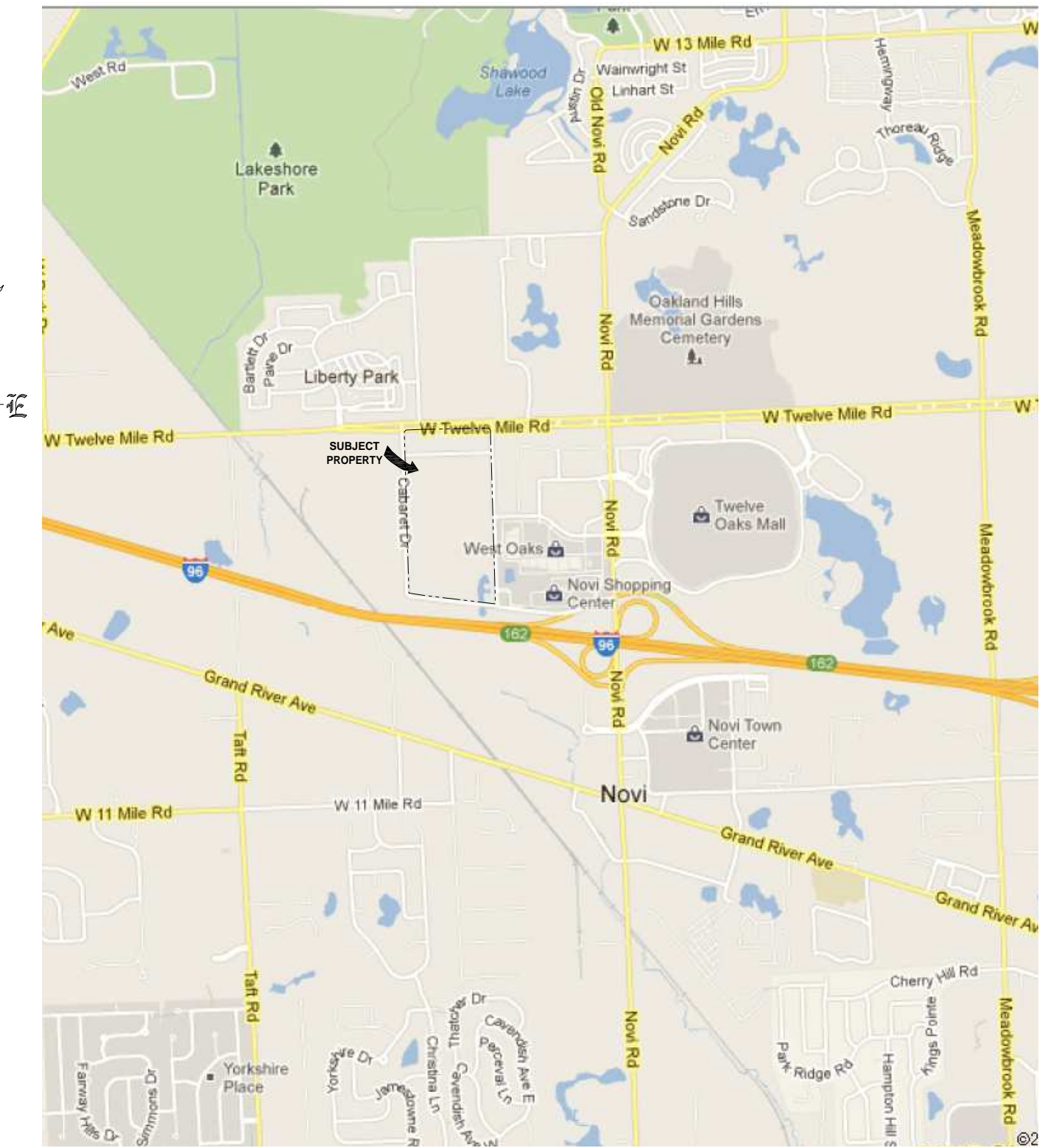
MR. STANLEY SPIGEL
 70 NE LOOP 410, SUITE 185
 SAN ANTONIO, TX 78216
 Ph: 210-349-3636
 Fax: 210-366-9422

OWNER

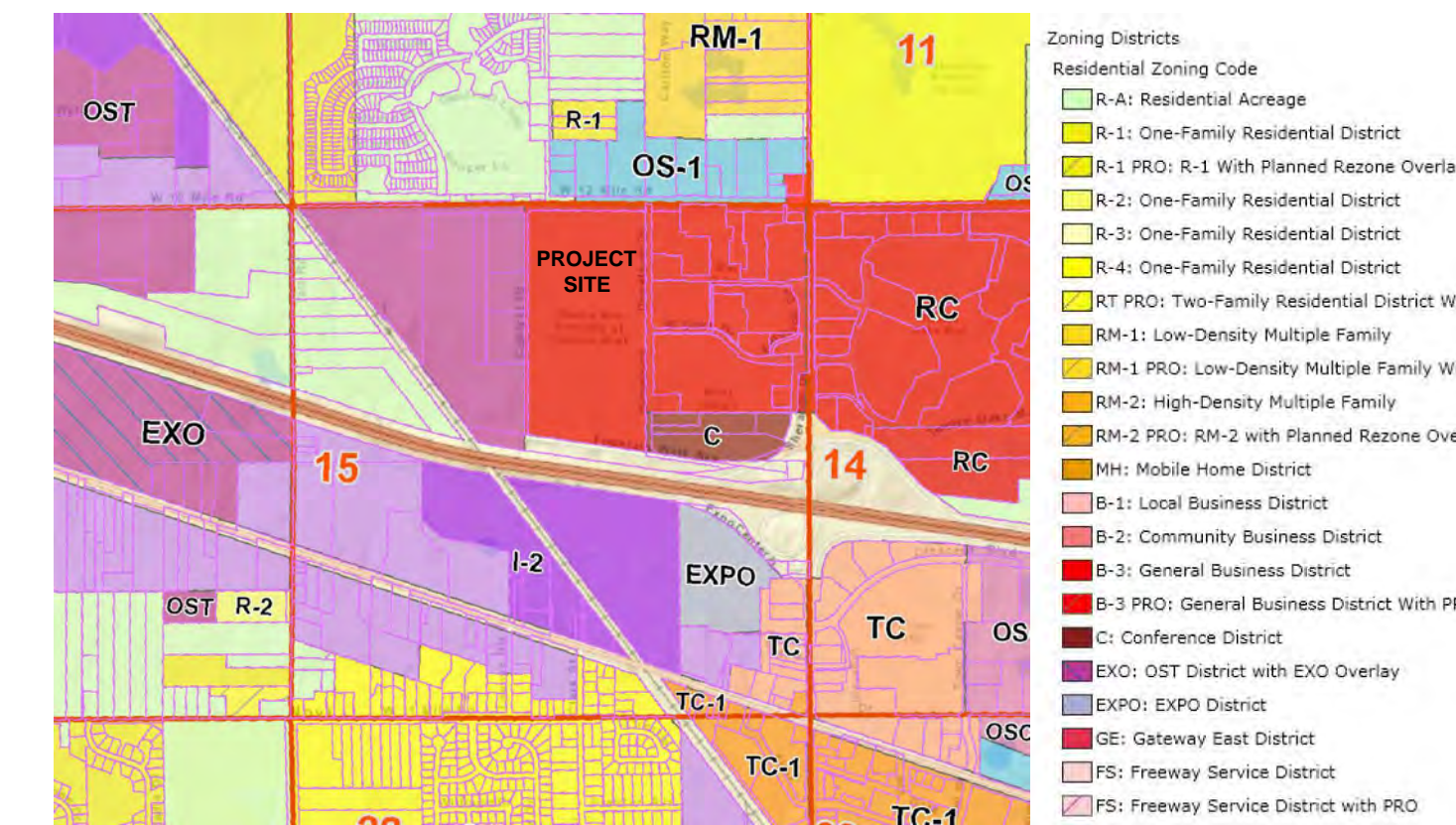
SUN VALLEY, LTD
 MR. STANLEY SPIGEL
 70 NE LOOP 410, SUITE 185
 SAN ANTONIO, TX 78216
 Ph: 210-349-3636
 Fax: 210-366-9422

WAIVER REQUEST
 1.) THE DEVELOPER WOULD LIKE TO REQUEST A WAIVER OR VARIANCE FROM THE BUILDING LANDSCAPE REQUIREMENTS ON THE BASIS OF MAINTAINING FOOT TRAFFIC AND WINDOW SHOPPING VISIBILITY IN FRONT OF RETAIL SPACES. PLANTERS AND TREE GRATES SIMILAR TO WHAT IS CURRENTLY FOUND THROUGHOUT THE EXISTING DEVELOPMENT ARE PROPOSED. ADDITIONAL LANDSCAPE AREA HAS BEEN PROVIDED WITHIN THE ADJACENT PARKING LOT TO COMPENSATE FOR THE REQUIRED BUILDING LANDSCAPE AREA.

VARIANCE REQUEST
 1.) THE DEVELOPER IS REQUESTING A VARIANCE FROM SECTION 2507 WHICH REQUIRES THE UNLOADING AREA TO BE PROVIDED IN THE REAR YARD OF THE SITE. DUE TO THE CONFIGURATION OF THE PROPOSED BUILDING THE UNLOADING AREA WILL NEED TO BE PROVIDED ALONG THE REAR THE BUILDING (MIDDLE OF THE SITE) AS SHOWN.
 2.) THE DEVELOPER IS REQUESTING A VARIANCE FROM SECTION 2503 FOR THE PROPOSED DUMPSTER WHICH REQUIRES A 10' SETBACK FROM THE BUILDING AND FOR THE DUMPSTER TO BE PLACED IN THE REAR YARD. THE DUMPSTER AT THE REAR OF THE PROPOSED BUILDING (MIDDLE OF THE SITE) AS SHOWN.



PROJECT LOCATION
 1" = 2000'



ZONING MAP
 NO SCALE

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	TOPOGRAPHIC SURVEY
3	OVERALL SITE PLAN
4	SITE PLAN
5	SITE GRADING \ SOIL EROSION PLAN
6	UTILITY PLAN
7	STORM WATER MANAGEMENT PLAN
8	LANDSCAPE PLAN
9	DETAIL SHEET
ARCHITECTURAL PLAN	
A1.0	BUILDING FLOOR PLAN
A2.0	PROPOSED EXTERIOR ELEVATIONS
A2.1	PROPOSED EXTERIOR ELEVATIONS
A3.0	PROPOSED BUILDING RENDERINGS
A3.1	PROPOSED BUILDING RENDERINGS
A3.2	PROPOSED BUILDING RENDERINGS
CITY OF NOVI DETAILS	
1	LANDSCAPE DETAILS
2	SANITARY SEWER DETAILS #1
3	SANITARY SEWER DETAILS #2
4	WATERMAIN DETAILS #1
5	WATERMAIN DETAILS #2
6	STORM SEWER DETAILS
7	PAVEMENT DETAILS

Seal & Signature:

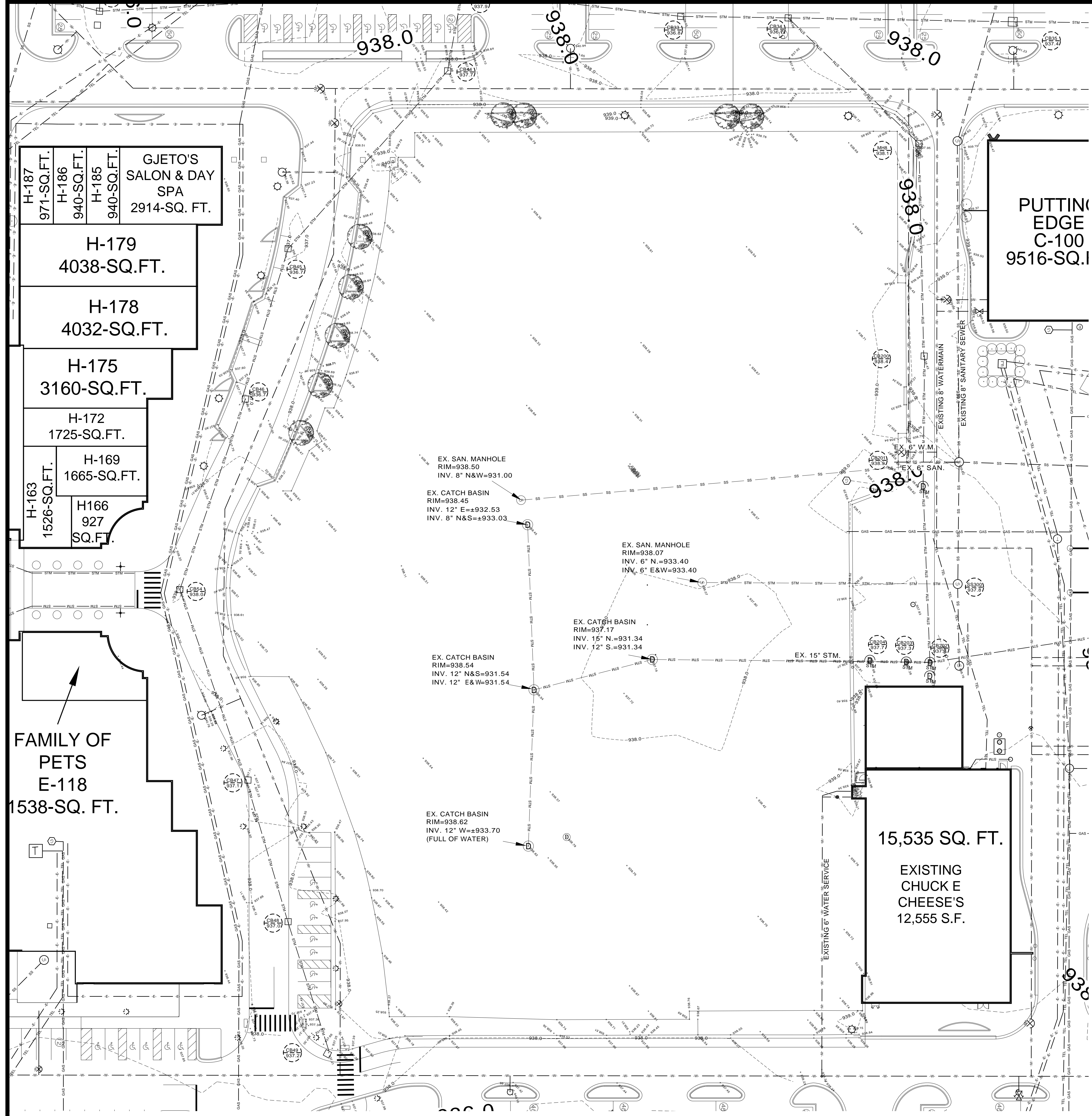
49308 WAINSTOCK
 WIXOM, MI 48393
 (P):248-437-9955
 (F):866-690-4307

REVISIONS

CLIENT: SPIGEL PROPERTIES, INC

COVER SHEET

SECTION 15
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN



STORM SEWER

EX. CB44
RIM=937.7
INV. 18" NW=927.77
INV. 18" SE=927.87

EX. CB34
RIM=936.7
INV. 42" S=925.46
INV. 30" N=926.26
INV. 30" NE=926.36

EX. MH8
RIM=938.1
INV. 30" E&SW=926.95

EX. CB200
RIM=938.4
INV. 30" E&W=927.56

EX. CB201
RIM=938.87
INV. 15" S=928.45
INV. 24" N=929.28
INV. 30" NE=929.95

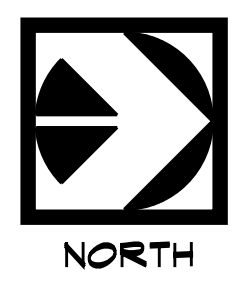
EX. CB202
RIM=937.67
INV. 12" E=929.75
INV. 24" N&S=929.50
INV. 30" W=928.92

EX. CB203
RIM=937.28
INV. 24" N&S=929.61

EX. CB204
RIM=937.68
INV. 24" N=929.84
INV. 15" S=930.20

SANITARY

EX. SS300
RIM=937.8
INV. 8" E&W=931.13
INV. 8" S=931.13 (REMOVE)
INV. 8" SE=931.23



UTILITY LEGEND

- EXISTING ELECTRIC
- PROPOSED ELECTRIC
- EXISTING UTILITY LINE
- EXISTING GAS MAIN
- PROPOSED GAS MAIN
- EXISTING IRRIGATION
- PROPOSED IRRIGATION
- PROPOSED UTILITY LINE
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING TELEPHONE LINES
- PROPOSED TELEPHONE LINES
- EXISTING WATER MAIN
- PROPOSED WATER MAIN

49308 WAINSTOCK
WIXOM, MI 48393
(P):248-437-9955
(F):866-690-4307

REVISIONS

NO.	DATE	DESCRIPTION

CLIENT: SPIGEL PROPERTIES, INC

TOPOGRAPHIC SURVEY

These documents are instruments of service in respect to the specific project and shall not be construed as a general representation of the Consultant's (DCC) for the specific purposes intended and shall be subject to the specific terms and conditions set forth in the contract documents. The Consultant shall not be held responsible for any damages, losses or resulting therefrom. Any such verification or confirmation shall be agreed upon by User and DCC.

SECTION 15
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

Date: 4-24-12
Drawn By: MD
P.E.: MATT DIFFIN
SCALE: 1 inch = 30 ft.
Job No.: 120301
Sheet No.: 2 OF 9

Seal & Signature:

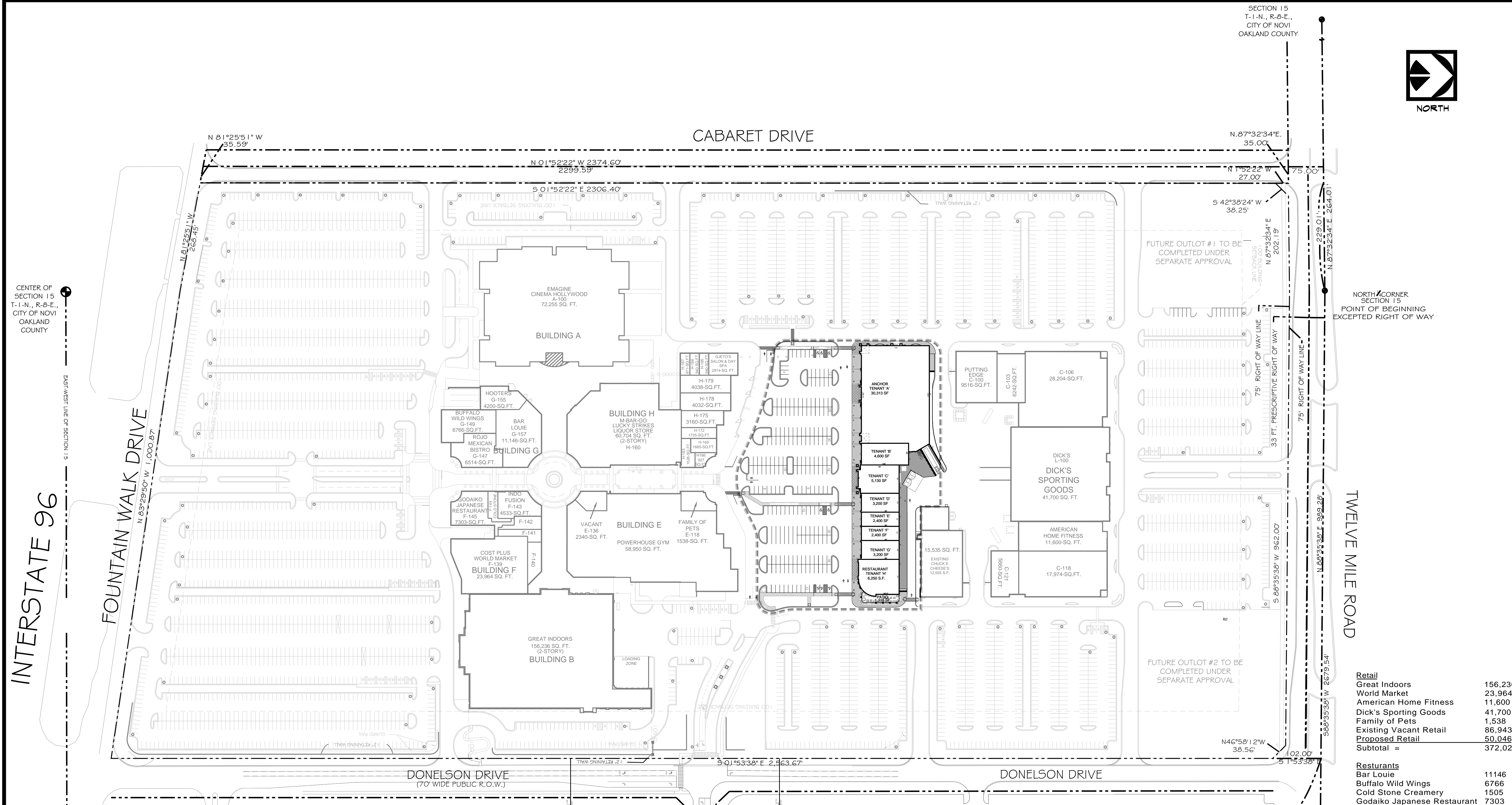
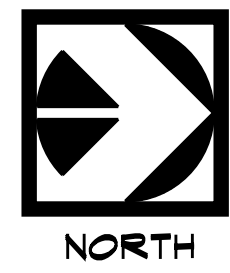
REVISIONS

CLIENT: SPIGEL PROPERTIES, INC

OVERALL
SITE PLAN

These drawings are instruments of service in which the Engineer has performed a professional service in accordance with the provisions of the Michigan Professional Engineers Act and any rules without written verification or adaptation by the Engineer. The Engineer is not responsible for the accuracy of the information provided to the Engineer by the client or for the consequences of any errors or omissions in the drawings. The Engineer shall not be held responsible for any damages, losses and expenses including attorney's fees arising out of or resulting from the use of these drawings. The Engineer's liability shall be limited to the amount of the fee paid to the Engineer for the preparation of these drawings. The Engineer's liability shall not be limited by any limitation on the amount or type of damages, compensation or benefits payable by or for any third party under any workers compensation act, disability benefit act or other employee benefit act. The Engineer's liability shall not be limited by any limitation on the amount or type of damages, compensation or benefits payable by or for any third party under any workers compensation act, disability benefit act or other employee benefit act. The Engineer's liability shall not be limited by any limitation on the amount or type of damages, compensation or benefits payable by or for any third party under any workers compensation act, disability benefit act or other employee benefit act.

SECTION 15
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN



NORTH CORNER SECTION 15
POINT OF BEGINNING EXCEPTED RIGHT OF WAY

TWELVE MILE ROAD

Retail	
Great Indoors	156,236
World Market	23,964
American Home Fitness	11,600
Dick's Sporting Goods	41,700
Family of Pets	1,538
Existing Vacant Retail	86,943
Proposed Retail	50,046
Subtotal =	372,027

Restaurants	
Bar Louie	11146
Buffalo Wild Wings	6766
Cold Stone Creamery	1505
Godaiko Japanese Restaurant	7303
Hooters	4200
Indo Fusion	4533
Rojo Mexican Bistro	6514
M-Bar-Go	60,704
Lucky Strike Liquor Store	
Proposed w/ Outdoor Seating	8325
Subtotal =	110,996

Entertainment	
Chuck E. Cheese's	15535
Imagine Novi Theatre	72255
Gjeto's Salon & Day Spa	2914
Powerhouse Gym	58950
Putting Edge Fun Centers	9516
Subtotal =	159,170

42% > 20%

Seal & Signature:

NORTHEAST CORNER SECTION 15
T-1-N., R-8-E.,
CITY OF NOVI
OAKLAND COUNTY

SITE DATA

EXISTING ZONING	RC
GROSS SITE AREA	67.21 ACRES
EXISTING WETLANDS	NONE
EXISTING WOODLANDS	NONE
EXISTING BUILDING AREA	579,256 SQ. FT.
PROPOSED BUILDING AREA	57,493 SQ. FT.
MAXIMUM HEIGHT OF BUILDING	45 FEET
EXISTING PAVEMENT AREA	
PROPOSED PAVEMENT AREA	±68,132 SQ. FT.
BUILDING SETBACKS	REQUIRED PROVIDED
NORTH SETBACK	100' ±378'
WEST SETBACK PROP. LINE	100' ±100'
EAST SETBACK PROP. LINE	100' ±134'
SOUTH SETBACK PROP. LINE	100' ±584'
PARKING SETBACKS	REQUIRED PROVIDED
NORTH SETBACK	20' ±38'
WEST SETBACK PROP. LINE	10' ±20'
EAST SETBACK PROP. LINE	20' ±20'
SOUTH SETBACK PROP. LINE	20' ±30'

REQUIRED PARKING	
THEATER:	
1 SPACE PER 3.4 SEATS PLUS 1 SPACE PER EVERY 2 EMPLOYEES	
3377 SEATS/3.4 SEATS + 30 EMPLOYEES/2 = 1008 SPACES	
RESTURANTS:	
1 SPACE PER 70-SFT G.F.A.	
56,246-SFT/ 70-SFT = 891 SPACES	
OUTDOOR SEATING 2207-SFT/70-SFT = 32 SPACES	
RETAIL:	
1 SPACE PER 250-SFT G.F.A.	
500,801-SFT/250-SFT = 2003 SPACES	
TOTAL = 3934-SPACES	

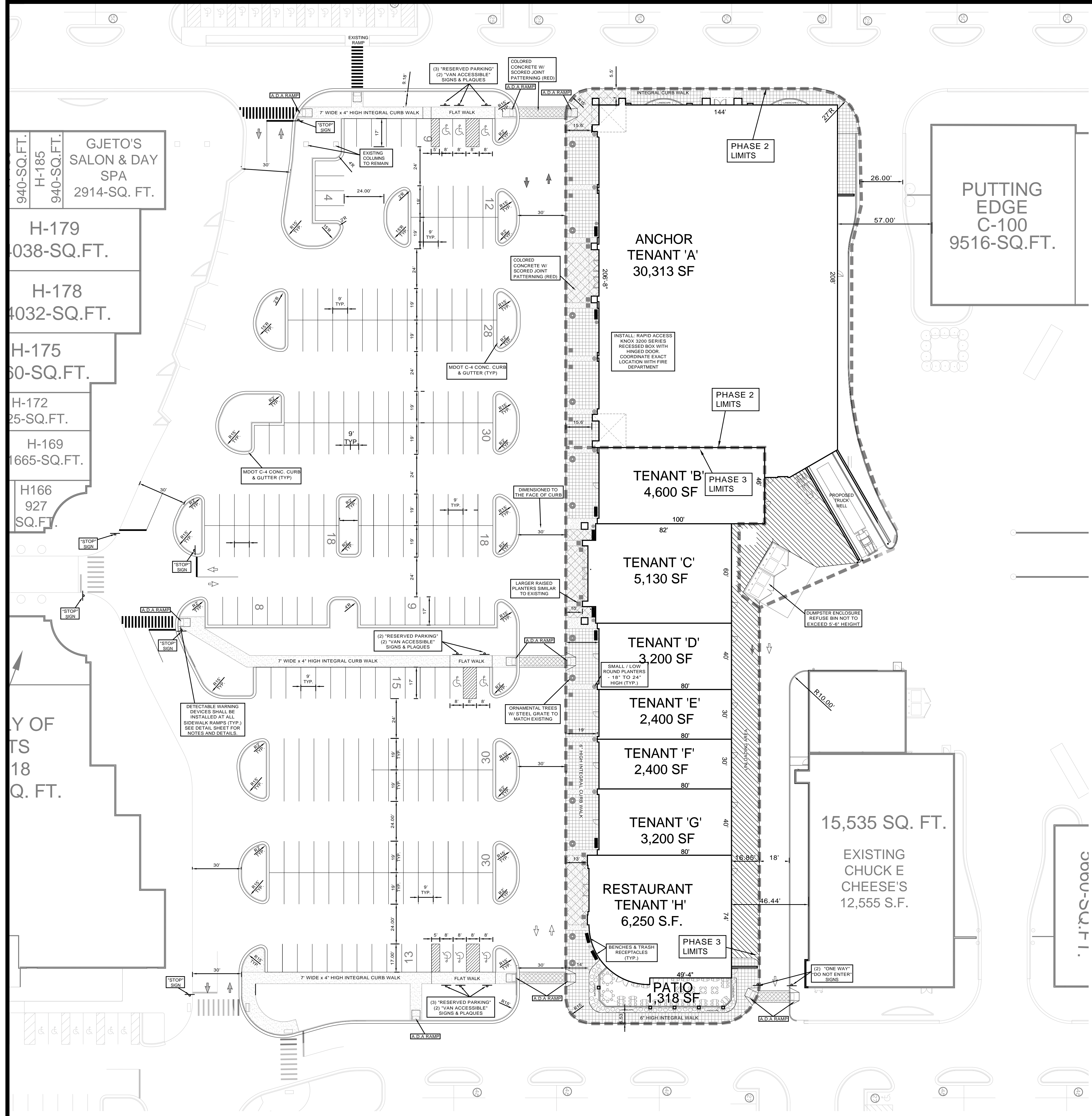
PROVIDED PARKING	
HANDI CAP SPACES	72
STANDARD SPACES	4005
TOTAL SPACES	4077-SPACES

LEGAL DESCRIPTION:
T1N, R8E, SECTION 15 PART OF NW 1/4 & PART OF NE 1/4 ALL DESCRIBED AS BEGINNING AT A POINT DISTANCE S 88-35-38 W 1690.26 FEET FROM NORTHEAST CORNER OF SECTION 15, THENCE S 01-53-38 E 2563.67 FEET, THENCE N 83-29-50 W 1000.87 FEET, THENCE N 81-25-51 W 268.45 FEET, THENCE N 01-52-22 W 2374.60 FEET, THENCE N 87-32-34 E 264.01 FEET, THENCE N 88-35-38 E 989.28 FEET TO THE POINT OF BEGINNING EXCEPT BEGINNING AT A POINT DISTANCE S 88-35-38 W 2679.54 FEET & S 87-32-34 W 229.01 FEET & S 01-52-22 E 75 FEET FROM NE SECTION CORNER, THENCE S 01-52-22 E 2306.40 FEET, THENCE N 81-25-51 W 35.59 FEET, THENCE N 01-52-22 W 2299.59 FEET, THENCE N 87-32-34 E 35 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT BEGINNING AT N 1/4 CORNER, THENCE N 88-35-38 E 989.28 FEET, THENCE S 01-53-38 E 102 FEET, THENCE N 46-58-12 W 38.57 FEET, THENCE S 88-35-38 W 962 FEET, THENCE S 87-32-34 W 202.19 FEET, THENCE S 42-38-24 W 38.25 FEET, THENCE N 01-52-22 W 27 FEET, THENCE S 87-32-34 W 35 FEET, THENCE N 01-52-22 W 75 FEET, THENCE N 87-32-34 E 264.01 FEET, TO THE POINT OF BEGINNING 67.21 A5-12-00 FR 001 TO 004, 072, 079,084 TO 087,126-011&013 1-14-02 CORR

CENTER OF SECTION 15 T-1-N., R-8-E., CITY OF NOVI OAKLAND COUNTY

INTERSTATE 96

NORTH CORNER SECTION 15 T-1-N., R-8-E., CITY OF NOVI OAKLAND COUNTY



SITE DATA

EXISTING ZONING RC
 GROSS SITE AREA ±5.0 ACRES
 PROPOSED BUILDING AREA 57,493 SQ. FT.
 MAXIMUM HEIGHT OF BUILDING 45 FEET
 PROVIDED PAVEMENT AREA ±122599 SQ. FT.
 TAX ID# 22-15-200-100

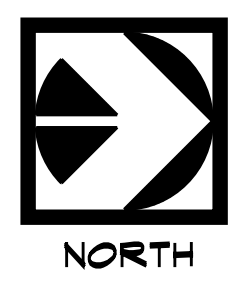
REQUIRED PARKING
 RESTAURANTS:
 1 SPACE PER 70-SFT G.F.A.
 7568-SFT/70-SFT = 108 SPACES

RETAIL:
 1 SPACE PER 250-SFT G.F.A.
 51243-SFT/250-SFT = 205 SPACES

TOTAL = 313 SPACES

PROVIDED PARKING
 HANDI CAP SPACES 8
 STANDARD SPACES 215
 TOTAL SPACES 224-SPACES

PHASING NOTE:
 UTILITIES, LIGHTING, AND PAVING SHALL BE CONSTRUCTED AS PART OF PHASE 1 DURING SUMMER 2012. PROPOSED ANCHOR BUILDING "TENTANT A", ADJACENT WALKWAYS, AND DUMPSTER AREA SHALL BE CONSTRUCTED AS PART OF PHASE 2 2013. REMAINING BUILDINGS AND WALKWAYS WITHIN TWO YEARS OF FINAL SITE PLAN APPROVAL.



NOTE: ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

NOTE: ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 26125C026P DATED SEPTEMBER 29, 2006 THE SUBJECT PARCEL IS LOCATED IN ZONE "X" WHICH IS NOT A DESIGNATED AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SIGN TABLE		
SIGN #	SIGN TYPE	REQUIRED
R1-1	STOP	6
R5-1	DO NOT ENTER	2
R3-5R	RIGHT TURN ONLY	-
R6-1R	ONE WAY	2
R7-8	RESERVED PARKING	8
R7-8A	VAN ACCESSIBLE	6
R8-3	NO PARKING	-

NOTE: ALL SIGNS WILL COMPLY WITH CURRENT MMUTCD STANDARDS.

Exterior Lighting

- All outdoor lighting in all Use Districts used to light the general area of a specific site shall be shielded to reduce glare and shall be so arranged as to reflect lights away from all adjacent residential districts or adjacent residences.
- All light fixtures must be mounted to a height of 25 ft. or less. The entire site to be limited to light poles with a maximum height of 25 ft.
- All outdoor lighting in all Use Districts shall be directed toward and confined to the ground areas of lawns or parking lots.
- All lighting in nonresidential districts used for the external illumination of buildings, so as to feature said buildings, shall be placed and shielded so as not to interfere with the vision of persons on adjacent highways or adjacent property.
- Illumination of signs shall be directed or shaded downward so as not to interfere with the vision of persons on the adjacent highways or adjacent property.
- Artificial light shall be maintained in a manner so as not to constitute a hazard or nuisance.

GENERAL NOTES:

ALL LIGHTS SHALL BE SQUARE, ARM MOUNTED, CUT-OFF TYPE LUMINAIRE W/250 WATT METAL HALIDE LAMP WITH VERTICAL REFLECTOR. ALL LIGHTING SHALL BE DIRECTED AWAY FROM ADJOINING PARCELS (TYP.).

REFER TO UTILITY PLANS AND PROFILES FOR STORM SEWER, SANITARY SEWER, WATERMANS, AND BUILDING CONNECTION LOCATIONS, SIZES, AND INVERTS.

CONTRACTOR TO COMPLY WITH CITY OF NOVI AND OAKLAND COUNTY ROAD COMMISSION REQUIREMENTS FOR ALL WORK PERFORMED WITHIN WIXOM ROAD RIGHT OF WAY. CONTRACTOR TO OBTAIN PERMIT FROM THE CITY OF NOVI PUBLIC SERVICE DEPT AND THE OAKLAND COUNTY ROAD COMMISSION PRIOR TO THE START OF CONSTRUCTION.

REFER LANDSCAPE ARCHITECTS PLAN FOR ALL PLANTINGS, BERMING, LANDSCAPE DETAILS, AND MATERIALS (TYP.).

ALL PARKING AREAS AND LANDSCAPE ISLANDS TO HAVE CURB AND GUTTER (TYP.) UNLESS OTHERWISE NOTED.

GENERAL CONTRACTOR TO COORDINATE AND INSTALL UNDERGROUND ELECTRICAL CONDUIT TO PARKING LOT UTILITIES, AND DIRECTIONAL SIGNS. GENERAL CONTRACTOR TO PROVIDE A UNIT PRICE FOR INSTALLATION OF IRRIGATION SLEEVES. EXACT QUANTITY AND LOCATION TO BE DETERMINED PRIOR TO THE START OF CONSTRUCTION. WITNESS THE LOCATION OF EACH SLEEVE.

DEVELOPER TO INSTALL FIRE LANE SIGN AS NECESSARY PER THE CITY OF NOVI FIRE DEPARTMENTS REQUIREMENTS. CONTRACTOR SHALL COORDINATE INSTALLATION OF SIGNS WITH THE CITY'S FIRE MARSHAL (TYP.).

ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

PAVEMENT STRIPING SHALL BE MDOT FAST DRY PAVEMENT MARKING. ALL ARROWS, STOP BARS, AND LANE LINES (4" WIDE SINGLE LINE) BETWEEN TURN LANES AND LANES IN THE SAME DIRECTION OF TRAVEL SHALL BE WHITE. LINES SEPARATING OPPOSITE DIRECTIONS OF TRAFFIC SHALL BE 4" WIDE DOUBLE YELLOW. BARRIER-FREE SPACE MARKINGS AND HATCHING SHOULD BE BLUE AND ALL OTHER MARKING MAY BE EITHER WHITE OR YELLOW. ALL PEDESTRIAN CROSS WALKS SHALL BE STRIPED WITH 12" WIDE WHITE DIAGONAL LINES AT 45° ANGLES SPACED 24" APART (TYP.).

NOTE:
 ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS & SPECIFICATIONS.

49308 WAINSTOCK WIXOM, MI 48393
 (P):248-437-9955
 (F):866-690-4307

REVISIONS

NO.	DESCRIPTION

CLIENT: SPIGEL PROPERTIES, INC

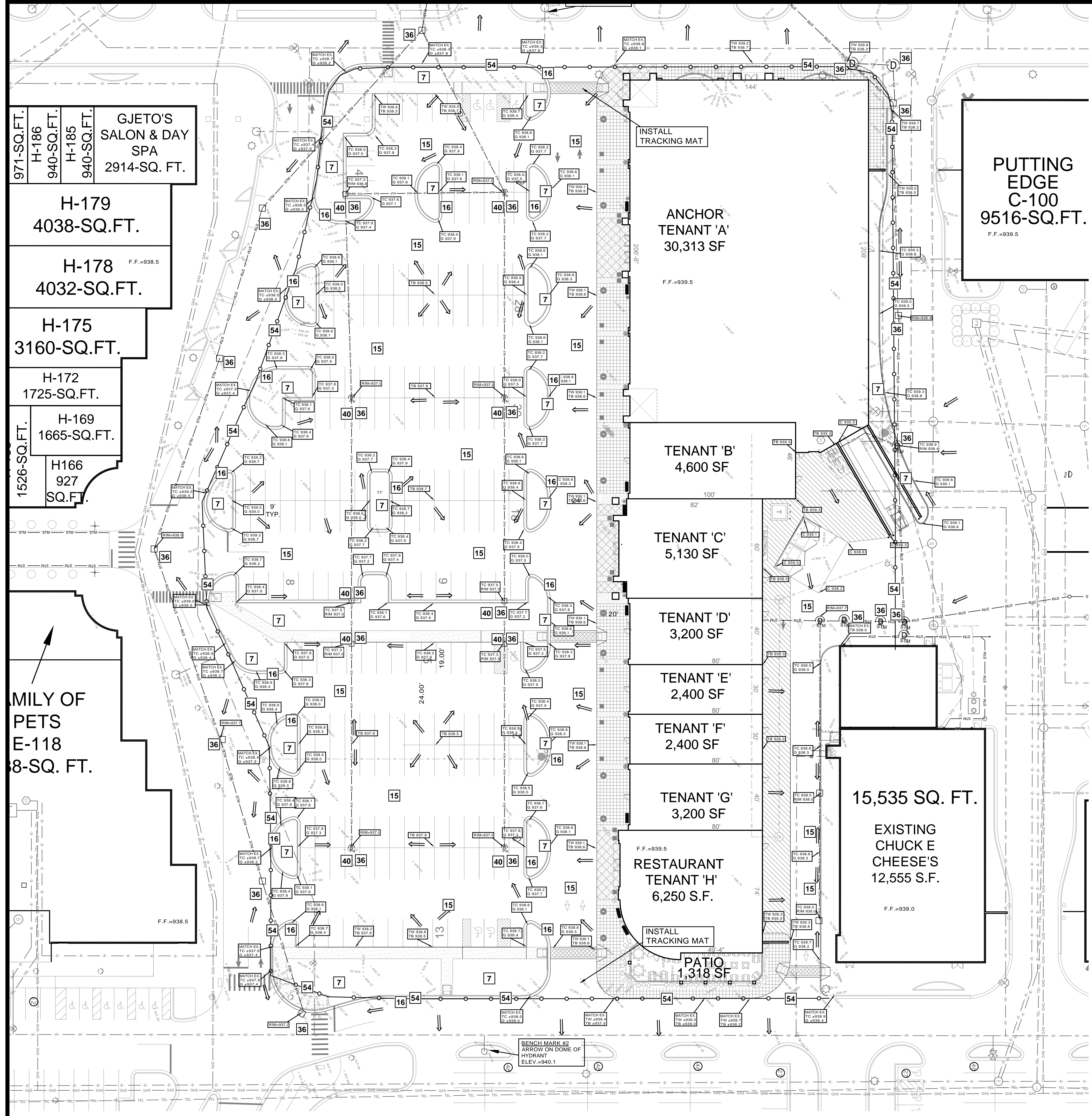
SITE PLAN

These documents are instruments of service in respect to the legal and professional services provided by Diffin-Umlor & Associates, Inc. (DUA) to the Client. DUA and its Consultants (CDC) for the specific purposes intended will be at Users sole risk and without liability or obligation to DUA or its Consultants. DUA and its Consultants shall not be held harmless DDC from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or confirmation shall be agreed upon by User and DDC.

SECTION 15
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN

Date: 4-24-12
 Drawn By: MD
 P.E.: MATT DIFFIN
 SCALE: 1 inch = 30 ft.
 Job No.: 120301
 Sheet No.: 4 OF 9

Seal & Signature:



LEGEND

- G GUTTER
- EE EXISTING ELEVATION
- WT TOP OF WALL
- WB BOTTOM OF WALL
- TB TOP OF BIT
- TC TOP OF CURB
- TG TOP OF GRAVEL
- TW TOP OF WALK
- SD SWALE DITCH
- BD BOTTOM DITCH
- BT TOP OF BERM
- FF FINISH FLOOR
- 650 PROP. MAJOR CONTOUR
- 651 PROP. MINOR CONTOUR
- 338.67 EXISTING SPOT ELEVATION
- SILT FENCE

EROSION CONTROL MEASURES

7	HYDRO-SEEDING	EFFECTIVE ON LARGE AREAS READY TO RECEIVE SOIL. PROVIDES IMMEDIATE PROTECTION UNTIL GRASS OR PLOTUS IS ESTABLISHED. IRREGULAR SURFACE WILL HELP SLOPE VELOCITY.
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT SHOULD BE MAINTAINED TO PREVENT TOPSOIL LOSS.
16	CURB AND GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING THE PAVED SURFACE. HELPS TO ENCLOSE DRAINAGE SYSTEM OR PREPARED DRAINAGE WAY.
36	CATCH-BASIN OR INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF. MAY USE FILTER CLOTH OVER INLET.
40	STONE SPREAD	EASY TO DEMO. QUALITY OF STONE IS IMPORTANT. SPREADS AS NEEDED.
49	WOOD STAKE	MINIMUM LENGTH OF 48" TO 60". USE ROCK, LUMBER, MASONRY OR SAND BAGS.
54	SILT FENCING	USE 8" GRANULAR FILL AND POSTS ON POLES. KEEP TO CONSTRUCT AND LOCATE AS NECESSARY.

CONSTRUCTION SEQUENCE

JULY 2012 - MAY 2013

PRIOR TO CONSTRUCTION
 IDENTIFY CONSTRUCTION LIMITS
 INSTALL SILT FENCE

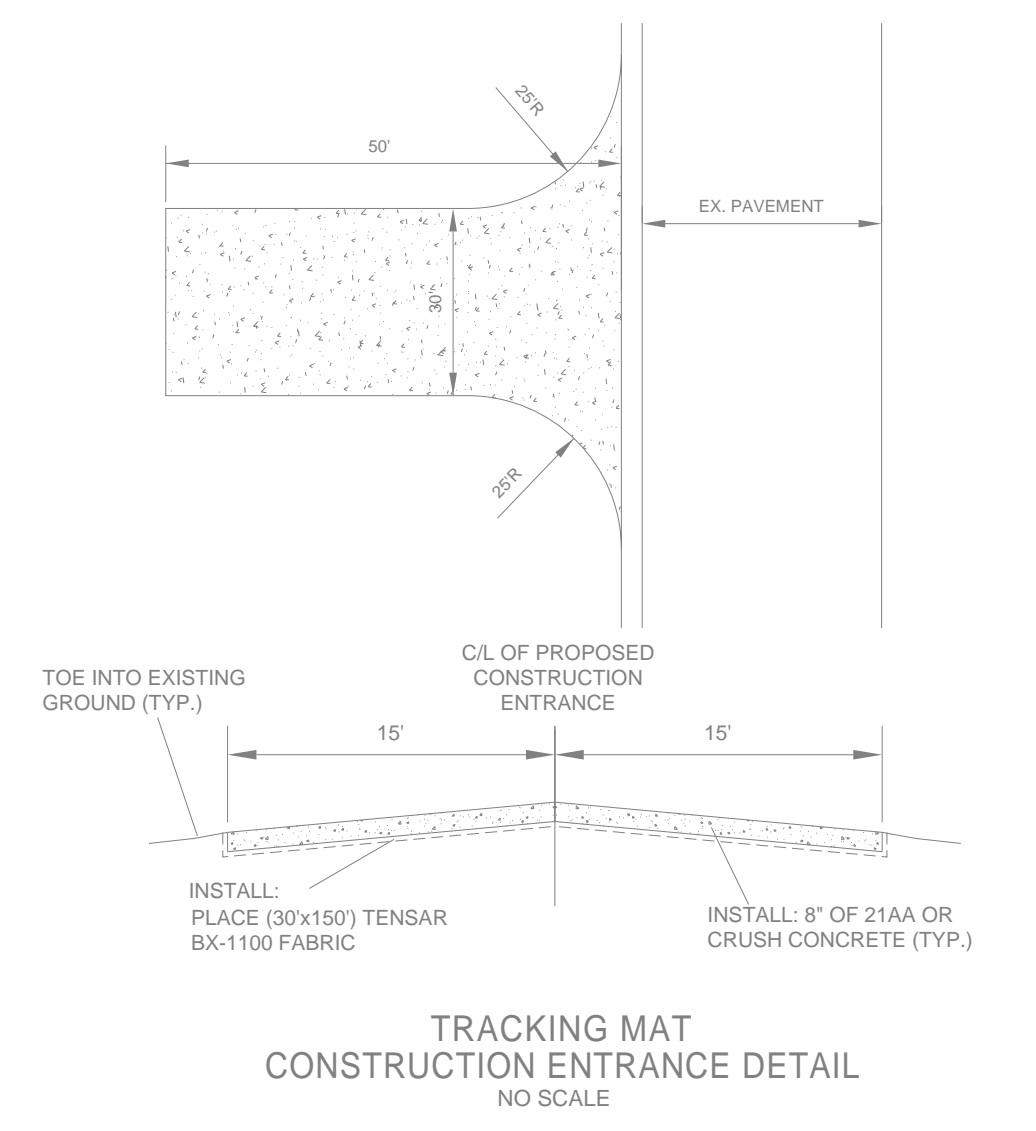
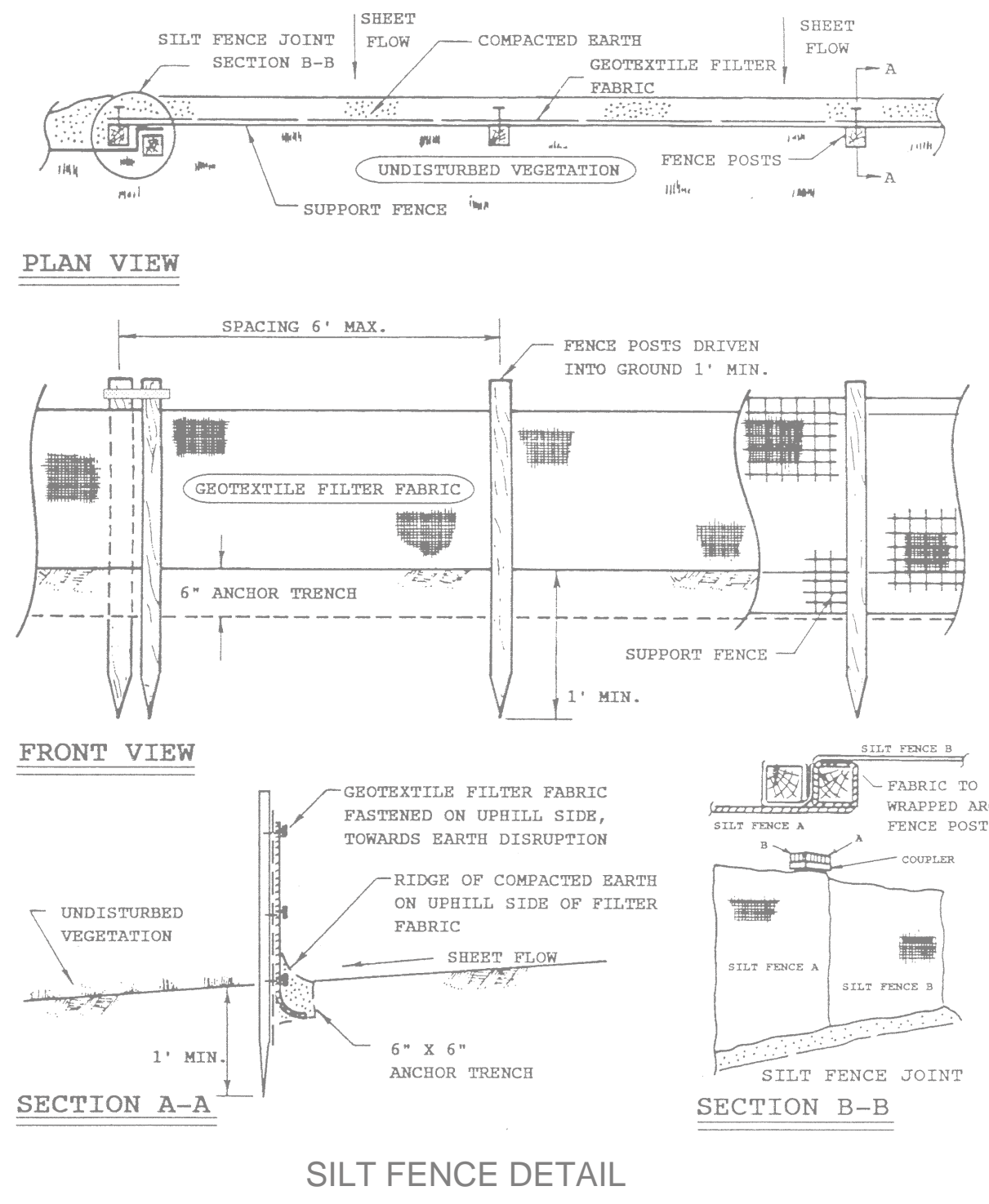
DEMOLITION
 SAWCUT AND REMOVE CURBING
 ASPHALT STRIP VEGETATION AND TOPSOIL
 CONSTRUCT STONE ACCESS DRIVE
 MAINTAIN CONTROL MEASURES

CONSTRUCT UTILITIES, BUILDING
 PAVE LOT, CONSTRUCT CURBING
 FINAL GRADING, INSTALL SIDEWALK
 SITE RESTORATION AND LANDSCAPING

AFTER DISTURBED AREAS HAVE STABILIZED

SOIL EROSION CONTROL MEASURES
 IDENTIFY CONSTRUCTION LIMITS
 INSTALL SILT FENCE
 MAINTAIN CONTROL MEASURES
 REMOVE STONE ACCESS DRIVE
 MAINTAIN OTHER CONTROL MEASURES
 MAINTAIN CONTROL MEASURES
 TOPSOIL AND SOIL
 INSTALL LANDSCAPING
 MAINTAIN CONTROL MEASURES
 REMOVE SILT FENCE
 REMOVE INLET FILTERS ON CATCH BASINS

- VIOLATIONS/CITATIONS**
- Routine inspections will be performed on your project by the City of Novi or its agent once a week.
 - Upon completion of inspection, the site is found not in compliance with the City of Novi's Soil Erosion and Sedimentation Control Ordinance, then the Permit Holder/Signer will be issued, by hand, mail or fax, a "Notice of Erosion Control Deficiency" letter, that will include all current and pertinent non-compliance items. The site and/or development will have a pre-determined amount of time, from the date of the "notice" to rectify these items.
 - If all of the items have not been addressed after the elapsed time specified, the Permit Holder/Signer will receive a "Non-Compliance" letter, which will include a "Notice to Show Cause."
 - Upon receipt of the "Non-Compliance" letter and "Notice to Show Cause," the Permit Holder/Signer will attend a Show Cause Hearing as well as pay a re-inspection fee in the amount of \$250.00 to the City of Novi for additional inspections, hearings and report follow-up. The before mentioned activities must take place within 24 hours upon receipt of the letter. After the hearing, the project/development may be issued a "stop work" order.
 - If a citation is issued to the Permit Holder/Signer after the Show Cause Hearing, an additional \$400.00 will be paid to the City of Novi, for follow-up inspections, meetings and other expenses incurred. SILT FENCE



NOTE:
 ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS & SPECIFICATIONS.

Seal & Signature:

49308 WAINSTOCK
 WIXOM, MI 48393
 (P):248-437-9955
 (F):866-690-4307

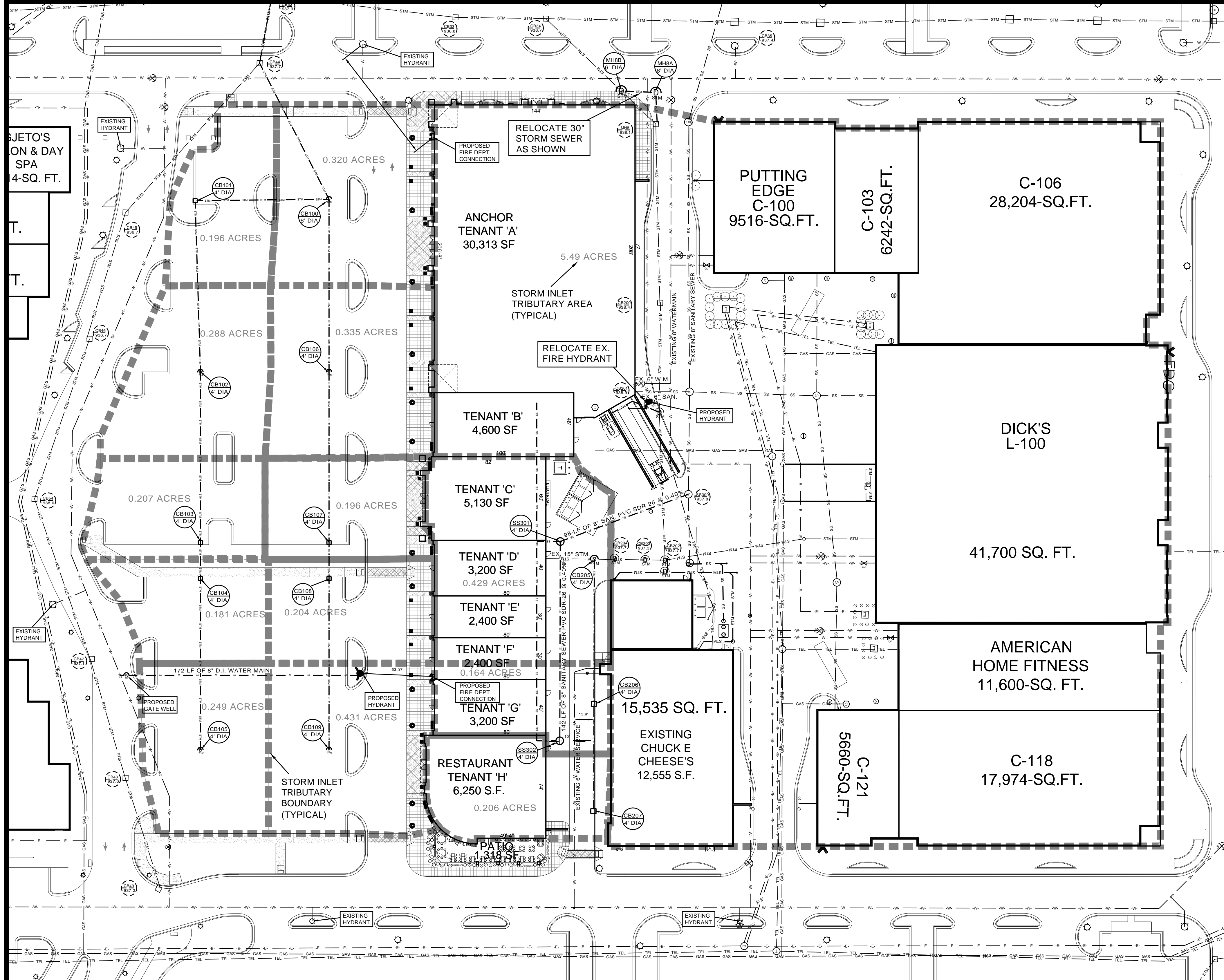
REVISIONS

CLIENT: SPIGEL PROPERTIES, INC
 SITE GRADING / EROSION CONTROL PLAN

These documents are instruments of service in respect to the legal and professional services provided by Diffin-Umlor & Associates, P.C. (DUC) for the specific purposes intended and will be at Users sole risk and without liability or obligation on the part of DUC. DUC does not hold harmless DUC from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or agreement shall be agreed upon by User and DUC.

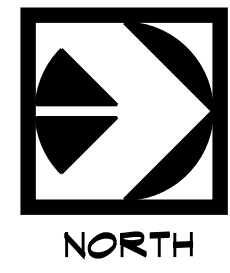
SECTION 15
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN

Date: 4-24-12
 Drawn By: MD
 P.E.: MATT DIFFIN
 SCALE: 1 inch = 30 ft.
 Job No.: 120301
 Sheet No.: 5 OF 9



STORM SEWER	SANITARY
EX. CB44 RIM=937.7 INV. 18" NW=927.77 INV. 18" SE=927.87	EX. SS300 RIM=937.9 INV. 8" E&W=931.13 INV. 8" S=931.13 (REMOVE) INV. 8" SE=931.23
EX. CB34 RIM=936.7 INV. 42" S=925.46 INV. 30" N=926.26 INV. 30" NE=926.36	PR. SS301 RIM=939.0 INV. 8" NW=931.92 INV. 8" E=932.02 INV. 6" S=932.12
EX. MH8 RIM=938.1 INV. 30" E&SW=926.95	PR. SS302 RIM=939.0 INV. 8" W=932.59 INV. 6" S=932.69
EX. CB200 RIM=938.4 INV. 30" E&W=927.56	
EX. CB201 RIM=938.87 INV. 15" S=928.45 INV. 24" N=929.28 INV. 30" E&W=927.95	
EX. CB202 RIM=937.67 INV. 12" E=929.75 INV. 24" N&S=929.50 INV. 30" W=928.92	
EX. CB203 RIM=937.28 INV. 24" N&S=929.61	
EX. CB204 RIM=937.68 INV. 24" N=929.84 INV. 15" S=930.20	

NOTE:
PROPOSED SANITARY SEWER AND WATER
MAIN EXTENSIONS SHALL BE PLACED IN A
20' WIDE EASEMENT DEDICATED TO THE
CITY OF NOVI.



UTILITY LEGEND

EXISTING ELECTRIC	---
PROPOSED ELECTRIC	---
EXISTING UTILITY LINE	---
EXISTING GAS MAIN	---
PROPOSED GAS MAIN	---
EXISTING IRRIGATION	---
PROPOSED IRRIGATION	---
PROPOSED UTILITY LINE	---
PROPOSED SANITARY SEWER	---
EXISTING SANITARY SEWER	---
EXISTING STORM SEWER	---
PROPOSED STORM SEWER	---
EXISTING TELEPHONE LINES	---
PROPOSED TELEPHONE LINES	---
EXISTING WATER MAIN	---
PROPOSED WATER MAIN	---

49308 WAINSTOCK
WIXOM, MI 48393
(P):248-437-9955
(F):866-690-4307

REVISIONS

CLIENT: SPIGEL PROPERTIES, INC

UTILITY PLAN

These documents are instruments of service in respect to the engineering and design work provided by Diffin-Umlor & Associates, Inc. (the "Consultant") for the specific purposes intended and shall not be used for any other purpose. The Consultant shall not be responsible for any damages, losses or expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or reliance on these documents shall be at the user's risk and at rates to be agreed upon by User and DDC.

Label	Upstream Node	Downstream Node	Section Size	Manning n	Length (ft)	Slope (%)	Tc (min)	Rational Coefficient	Upstream Inlet Area (acres)	Upstream Inlet CA (acres)	Average Velocity (ft/s)	Full Capacity (cfs)	Total System Flow (cfs)	Rim Elevation (ft)	Hydraulic Grade Line Elevation (ft)	Upstream Invert Elevation (ft)	Downstream Invert Elevation (ft)
P-9	CB105	CB104	12 inch	0.013	123.00	0.33	15.00	0.75	0.25	0.19	2.09	2.03	0.73	937.00	933.11	933.00	932.60
P-16	CB109	CB108	12 inch	0.013	123.00	0.33	15.00	0.75	1.00	0.75	3.74	2.03	2.94	937.00	934.75	933.00	932.60
P-10	CB104	CB103	12 inch	0.013	26.00	0.35	15.98	0.75	0.18	0.14	2.41	2.10	1.26	937.00	933.06	932.50	932.41
P-19	CB108	CB107	12 inch	0.013	26.00	0.35	15.55	0.75	0.15	0.15	4.51	2.10	3.54	937.00	934.50	932.50	932.41
P-11	CB103	CB102	12 inch	0.013	122.00	0.32	16.16	0.75	0.21	0.16	3.44	2.01	1.87	937.00	932.50	932.31	931.92
P-22	CB109	CB106	12 inch	0.013	107.00	0.33	15.64	0.75	0.15	0.12	2.94	2.03	4.12	937.00	933.78	932.52	931.92
P-12	CB102	CB101	18 inch	0.013	123.00	0.33	16.75	0.75	0.29	0.22	3.10	5.99	2.72	937.00	932.11	931.72	931.32
P-18	CB106	CB100	18 inch	0.013	123.00	0.33	16.02	0.75	0.34	0.25	4.32	5.99	5.10	937.00	932.19	931.72	931.32
P-13	CB101	CB100	18 inch	0.013	96.00	0.32	17.41	0.75	0.20	0.15	2.72	5.97	3.30	936.80	931.99	931.22	930.91
P-14	CB100	CB44	18 inch	0.013	110.00	2.14	18.00	0.75	0.32	0.24	5.77	15.35	9.34	937.00	930.72	930.81	928.46
P-15	CB44	CB32	18 inch	0.013	47.00	0.66	18.32	0.75	0.17	0.13	8.41	8.53	14.86	937.70	929.78	927.77	927.46
P-21	CB207	CB206	12 inch	0.013	77.00	0.32	15.00	0.75	0.21	0.15	2.08	2.03	0.61	936.00	934.17	934.00	933.75
P-22	CB206	CB205	12 inch	0.013	107.00	0.33	15.64	0.75	0.15	0.12	2.94	2.03	4.12	937.00	933.78	933.55	933.31
P-30	CB205	CB204	12 inch	0.013	15.00	0.80	16.22	0.75	0.43	0.32	1.91	5.78	2.35	937.70	932.51	930.32	930.20
P-31	CB204	CB203	24 inch	0.013	22.00	1.05	16.35	0.75	0.00	0.00	0.75	23.13	2.35	937.28	932.51	929.84	929.61
P-32	CB203	CB202	24 inch	0.013	14.00	0.79	16.84	0.75	0.00	0.00	0.75	20.05	2.35	937.28	932.51	929.61	929.50
P-24	CB202	CB201	30 inch	0.013	102.00	0.95	17.16	0.75	0.49	4.12	3.77	40.00	18.49	937.70	932.30	928.92	927.95
P-25	CB201	CB200	30 inch	0.013	80.00	0.35	17.61	0.75	0.00	0.00	3.77	24.26	18.49	938.90	932.14	927.95	927.67
P-26	CB200	MH8	30 inch	0.013	128.00	0.48	17.96	0.75	0.00	0.00	3.77	28.55	18.49	938.40	931.88	927.67	927.05
P-27	MH8	MH8A	30 inch	0.013	23.00	0.43	18.53	0.75	0.00	0.00	3.77	27.04	18.49	938.10	931.78	926.85	926.85
P-28	MH8A	MH8B	30 inch	0.013	25.00	0.32	18.63	0.75	0.00	0.00	3.77	23.20	18.49	938.20	931.78	926.85	926.77
P-29	MH8B	CB34	30 inch	0.013	75.00	0.55	18.74	0.75	0.00	0.00	3.77	30.33	18.49	938.30	931.63	926.77	926.36

NOTE:
EXISTING STORM SEWER DATA USED IN
THESE CALCULATIONS (I.E. DRAINAGE
AREAS, DESIGN FLOW RATES, AND
HYDRAULIC GRADE INFORMATION) WAS
TAKEN FROM THE GIFFELS-WEBSTER DESIGN
DRAWINGS SHEET C33 DATED 11-15-00.

NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI
STANDARDS & SPECIFICATIONS.

Seal & Signature:

SECTION 15

TOWN 1 NORTH, RANGE 8 EAST

CITY OF NOVI

OAKLAND COUNTY, MICHIGAN

Date: 4-24-12

Drawn By: MD

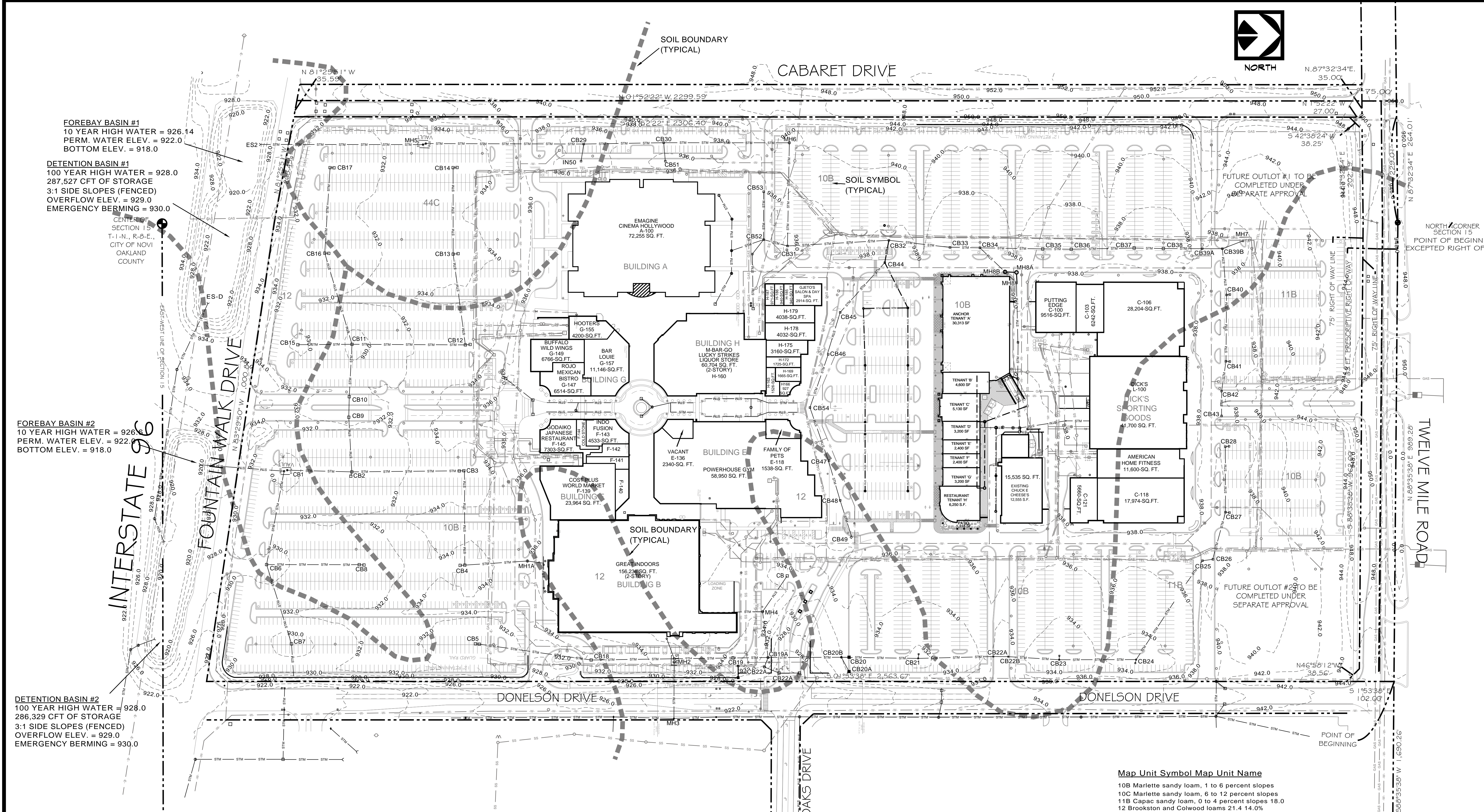
P.E.: MATT DIFFIN

SCALE: 1 inch = 40 ft.

Job No.: 120301

Sheet No.

6 OF 9



FOREBAY BASIN #1
10 YEAR HIGH WATER = 926.14
PERM. WATER ELEV. = 922.0
BOTTOM ELEV. = 918.0

DETENTION BASIN #1
100 YEAR HIGH WATER = 928.0
287,527 CFT OF STORAGE
3:1 SIDE SLOPES (FENCED)
OVERFLOW ELEV. = 929.0
EMERGENCY BERMING = 930.0

FOREBAY BASIN #2
10 YEAR HIGH WATER = 926.6
PERM. WATER ELEV. = 922.0
BOTTOM ELEV. = 918.0

DETENTION BASIN #2
100 YEAR HIGH WATER = 928.0
286,329 CFT OF STORAGE
3:1 SIDE SLOPES (FENCED)
OVERFLOW ELEV. = 929.0
EMERGENCY BERMING = 930.0

STORM WATER DATA

OVERALL SITE AREA =	3,074,041 -SFT	70.57 ACRES
CABARET DRIVE R.O.W. =	146576-SFT	3.365 ACRES
EXISTING OPEN SPACE		
CABARET DRIVE R.O.W. =	76578-SFT	1.76 ACRES
EX. PARKING & PERIMETER =	342,006-SFT	7.85 ACRES
PROPOSED DEVELOPMENT AREA =	217800-SFT	5.0 ACRES
OUTLOT 1 =	81133-SFT	1.86 ACRES
OUTLOT 2 =	94561-SFT	2.17 ACRES
TOTAL =	812078-SFT	18.64 ACRES
EXISTING IMPERVIOUS		
CABARET DRIVE R.O.W. =	70000-SFT	1.61 ACRES
EX. PARKING & BUILDINGS =	2191963-SFT	50.32 ACRES
TOTAL =	2261963-SFT	51.93 ACRES
EXISTING OPEN SPACE PERCENTAGE =	26.41%	
EXISTING IMPERVIOUS PERCENTAGE =	73.59%	

STORM WATER DATA TAKEN FROM GIFFELS-WEBSTER ENGINEERS 11-15-00 APPROVED PLANS:
OVERALL SITE AREA = 70.57 ACRES
PROPOSED RUNOFF COEFFICIENT 'C' = 0.75
ALLOWABLE DISCHARGE RATE = 0.2-CFS/ACRE OR 14.11-CFS
V100 = 12549 CF / IMP. ACRE
MDOT 100 YEAR REQUIRED DETENTION = 664,187-CFT
PROVIDED DETENTION = 674,070-CFT
APPROVED IMPERVIOUS AREA SHOWN ON PLANS = 56.93 ACRES
PROPOSED WEIGHTED RUNOFF COEFFICIENT 'Cw':

AREA (SQ.FT.)	RUNOFF COEFFICIENT	A x C	
EXISTING IMPERVIOUS (R.O.W., PARKING, & BUILDINGS)	2261963	0.8	1809570
EXISTING OPEN AREA (R.O.W., PARKING, & PERIMETER)	41854	0.15	62788
PROPOSED IMPERVIOUS (DEVELOPMENT AREA)	180092	0.8	144074
PROPOSED OPEN AREA (DEVELOPMENT AREA)	37709	0.15	5656
FUTURE IMPERVIOUS (OUTLOTS 1 & 2 ±65%)	114201	0.8	91361
FUTURE OPEN AREA (OUTLOTS 1 & 2 ±35%)	61493	0.15	9224
TOTAL =	3074041		2122673

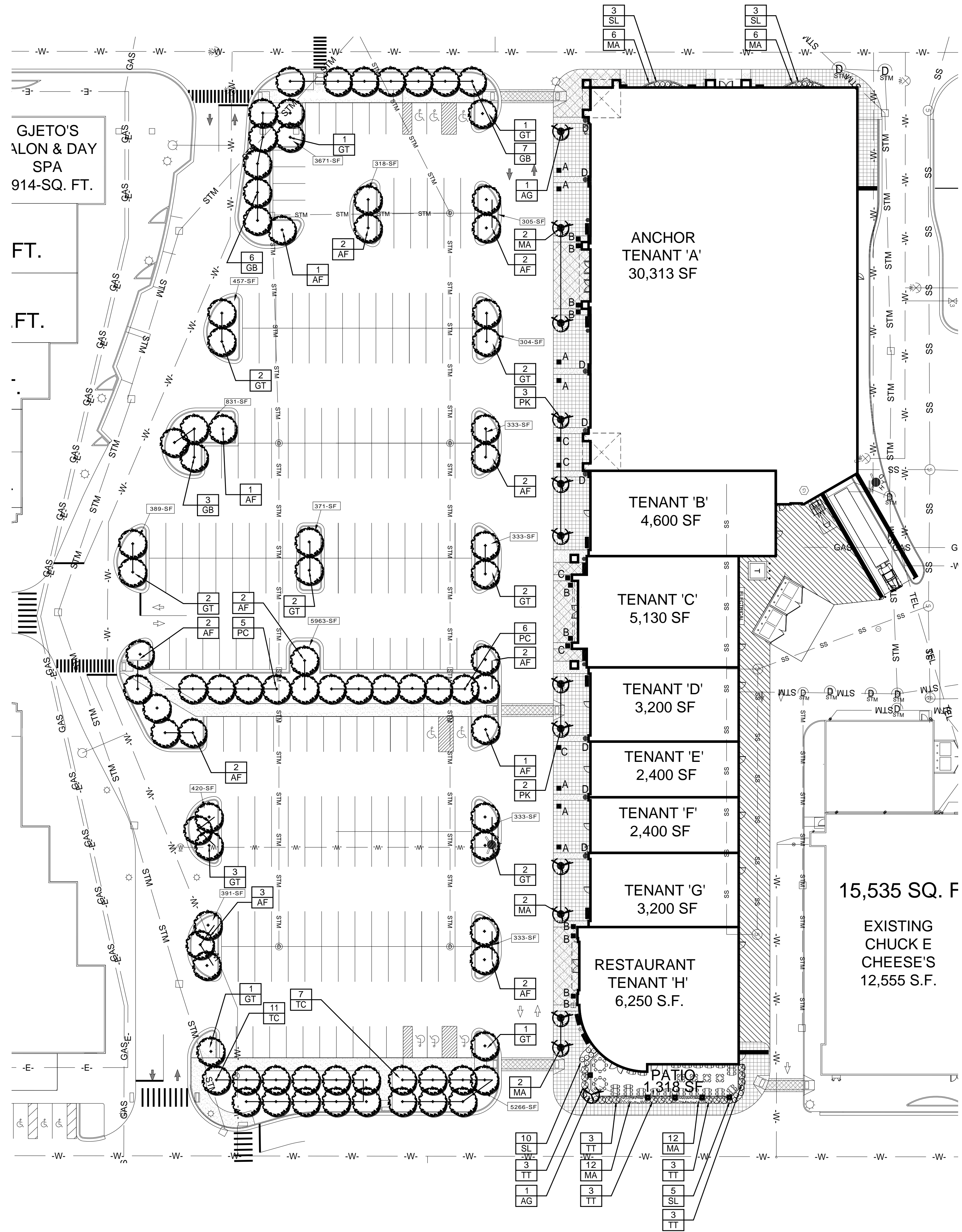
WEIGHT 'Cw' = 2122673 / 3074041 = 0.69
100 YR. REQUIRED DETENTION = VT = V100 x A x Cw = 12,549 x 70.57 x 0.69 = 611,052-CFT < 674,070-CFT

Map Unit Symbol Map Unit Name

10B	Marlette sandy loam, 1 to 6 percent slopes
10C	Marlette sandy loam, 6 to 12 percent slopes
11B	Capac sandy loam, 0 to 4 percent slopes 18.0
12	Brookston and Colwood loams 21.4 14.0%
27	Houghton and Adrian mucks 0.0 0.0%
44C	Riddles sandy loam, 6 to 12 percent slopes 24.9 16.3%
69	Thomas muck 1.8 1.2%

NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS & SPECIFICATIONS.

Seal & Signature:



PARKING AREA:
 226-SPACES x 171-SQ. FT. = 38,646 SQ. FT. x 10% = 3865 SQ. FT.
 50,000 SQ. FT. x 5% = 2,500 SQ. FT.
 7525 SQ. FT. x 1% = 75 SQ. FT.
 TOTAL REQUIRED = 6440 SQ. FT.
 PROVIDED = 20,018 SQ. FT.

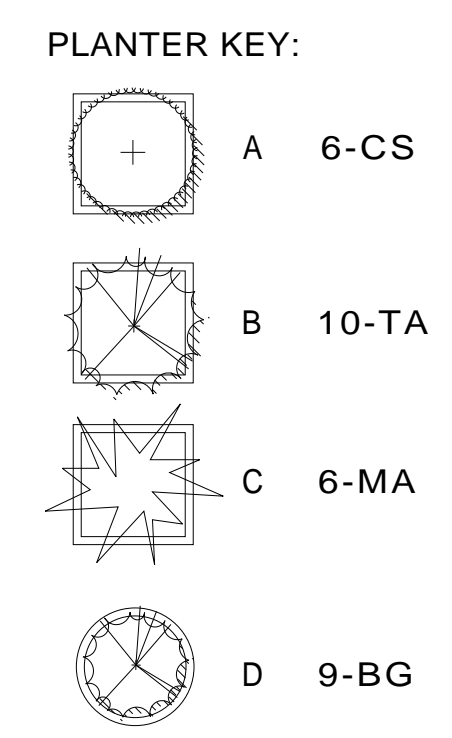
REQUIRED PARKING LOT TREES = 6440 SQ. FT. / 75 = 86 TREES
 TOTAL REQUIRED = 86 TREES
 TOTAL PROVIDED = 86 TREES

BUILDING LANDSCAPE:
 1442-LFT x 8 FT. = 11536 SQ. FT.
 PROVIDED = 898 SQ. FT.
 THE DEVELOPER WOULD LIKE TO REQUEST A WAIVER FROM THE BUILDING LANDSCAPE REQUIREMENTS ON THE BASIS OF MAINTAINING FOOT TRAFFIC AND WINDOW SHOPPING VISIBILITY IN FRONT OF RETAIL SPACES.

TOTAL REQUIRED LANDSCAPE AREA = 6440 + 11536 = 17976 SQ. FT.
 TOTAL PROVIDED LANDSCAPE AREA = 20916 SQ. FT.

PLANTING SCHEDULE FOR SITE LANDSCAPING

KEY	QUAN.	SIZE	BOTANICAL NAME	COMMON NAME	UNIT PRICE	TOTAL PRICE
AF	21	3"	Acer x. fremanii 'Autumn Blaze'	Autumn Blaze Maple	\$350.00	\$7350.00
GB	16	3"	Ginkgo biloba 'Princeton Sentry'	Upright Ginkgo	\$350.00	\$5600.00
GT	19	3"	Gleditsia t. var. inermis 'Skyline'	Skyline Honeylocust	\$350.00	\$6650.00
PC	11	3"	Pyrus calleryana 'Cleveland Select'	Cleveland Select Ornamental Pear	\$350.00	\$3850.00
TC	18	3"	Tilia	Linden	\$350.00	\$6300.00
AG	2	2"	Amelanchier laevis 'Cumulus'	Serviceberry	\$275.00	\$550.00
MP	6	2"	Malus 'Sentinal'	Upright Crabapple	\$275.00	\$1650.00
PK	3	2"	Prunus s. 'Kwanzan'	Kwanzan Cherry	\$275.00	\$825.00
BG	9	24" HT.	Buxus 'Green Velvet'	Green Velvet Boxwood	\$65.00	\$520.00
CS	6	24" HT.	Cornus stolonifera 'Arctic Fire'	Redtwig Dogwood	\$60.00	\$360.00
SL	21	24" HT.	Spiraea b. 'Anthony Waterer'	Anthony Waterer Spirea	\$60.00	\$1260.00
TA	10	30" HT.	Taxus cuspidata 'Capitata'	Capitata Conical Yew	\$65.00	\$650.00
TT	15	24" HT.	Taxus tautonii'	Tauton Yew	\$65.00	\$975.00
MA	42	1 Gal.	Miscanthus s. 'Adagio'	Adagio Maiden Grass	\$15.00	\$630.00
			3500-SF	Cypress Mulch	\$0.60	\$2100.00
			14470-SF	Turfgrass Sod	\$0.75	\$10852.5
			388-LF	Sprinkler System		\$12200.00
					ESTIMATED TOTAL	\$62,322.50



ANITA SILVERMAN
 LANDSCAPE ARCHITECT

PR:1.932.1925
 FAX:1.933.8773
 asilverman@charter.net
 www.anitasilverman.com
 530 W. 7th Street
 Traverse City, MI 49684

Diffin-Umlor & ASSOCIATES
 Civil Engineering • Surveying • Landscaping • Construction Services

49308 WAINSTOCK
 WIXOM, MI 48393
 (P):248-437-9955
 (F):866-690-4307

REVISIONS

CLIENT: SPIGEL PROPERTIES, INC

LANDSCAPE PLAN

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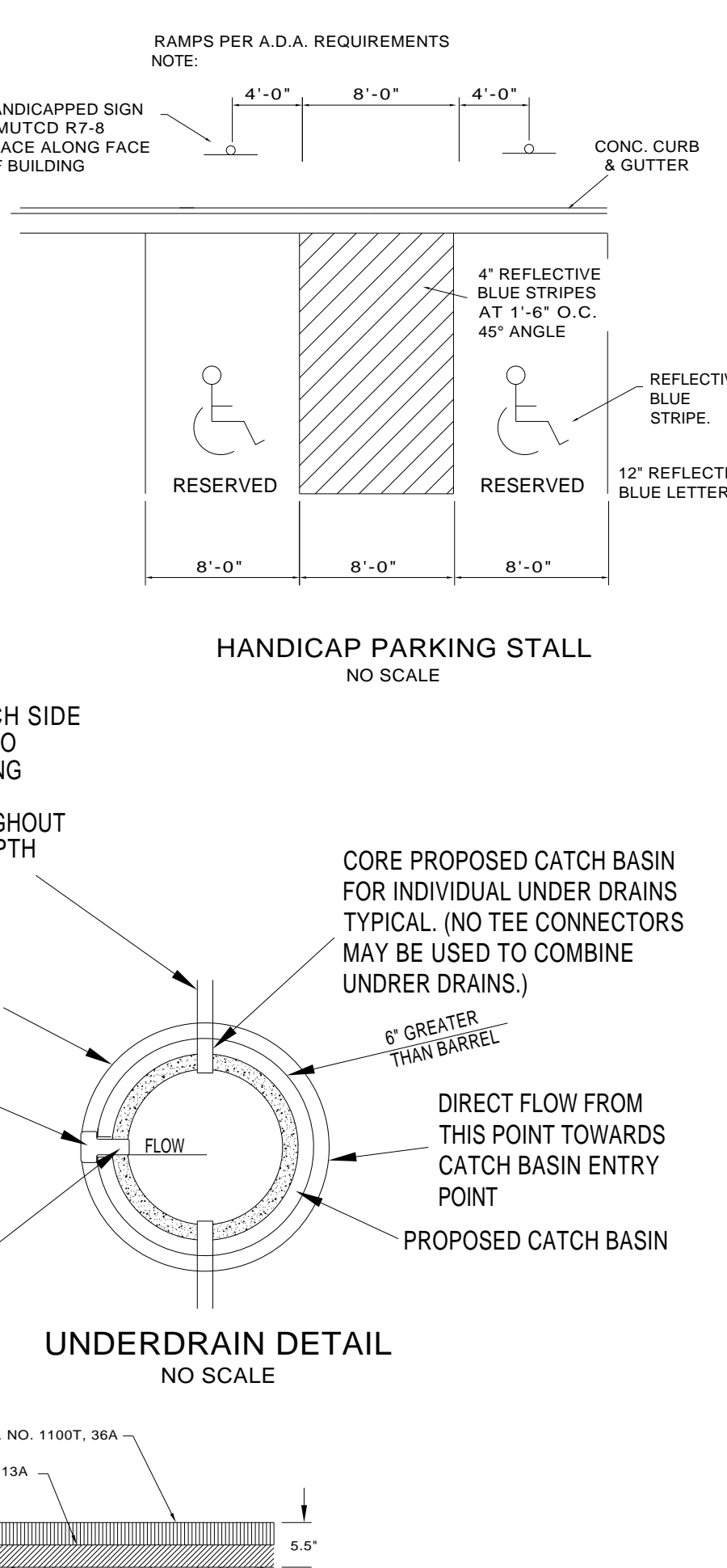
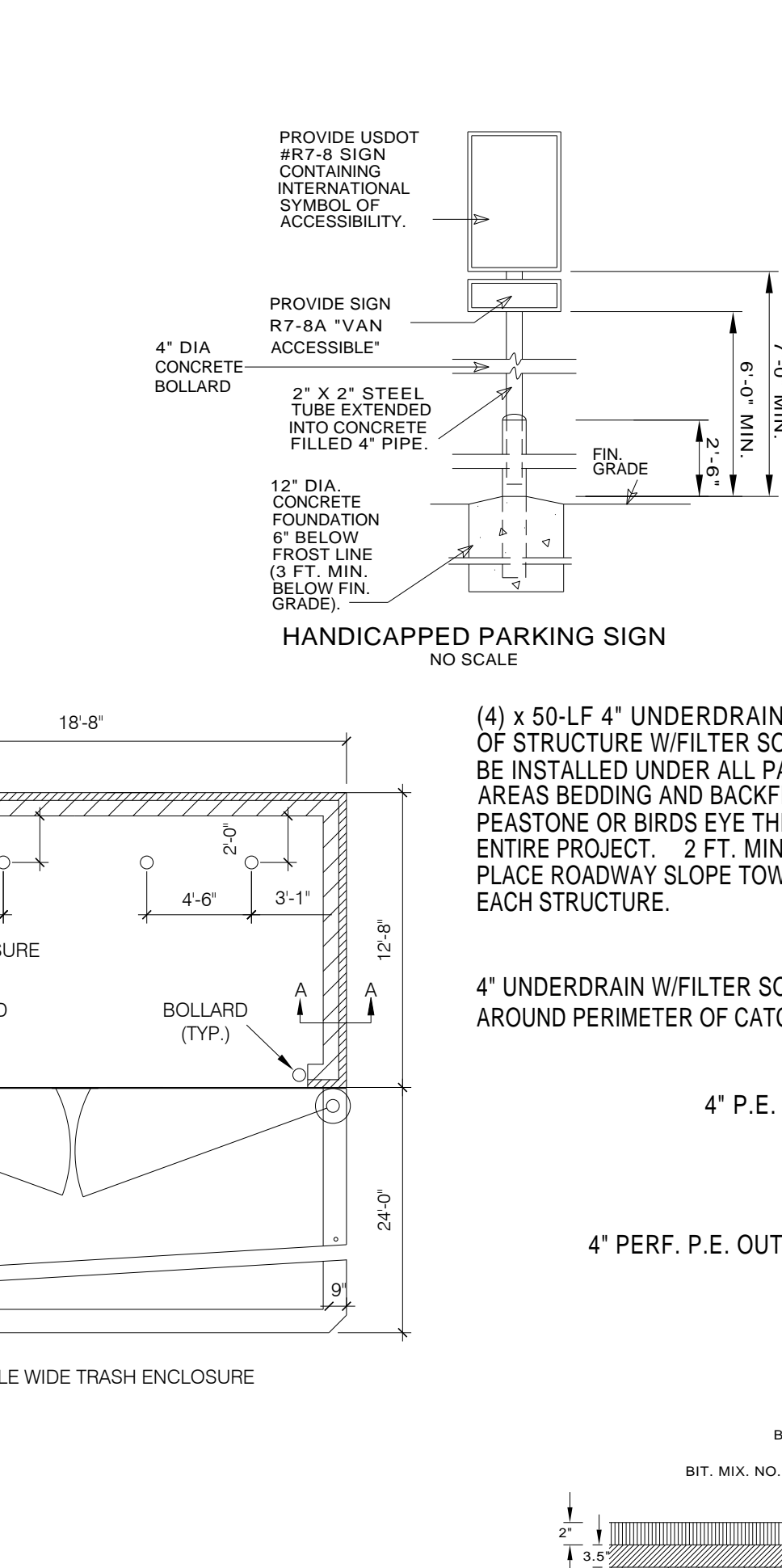
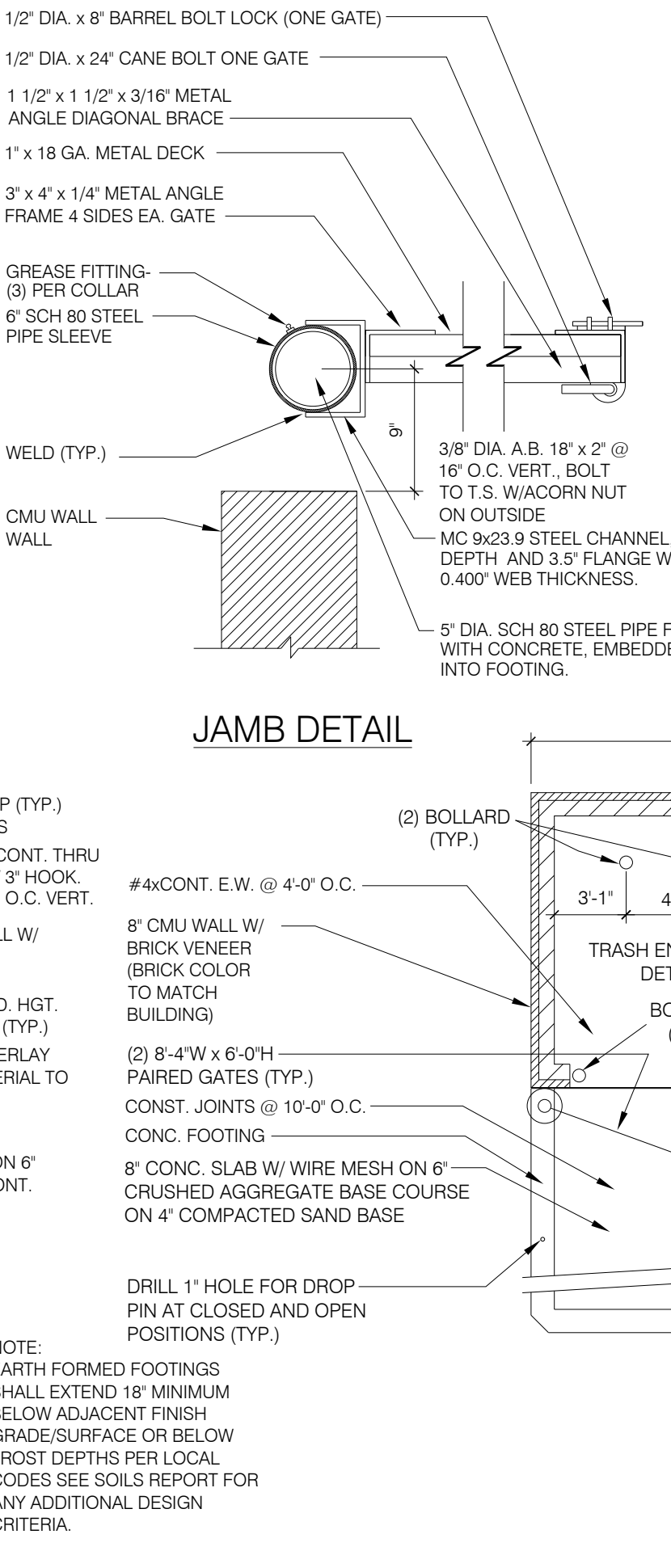
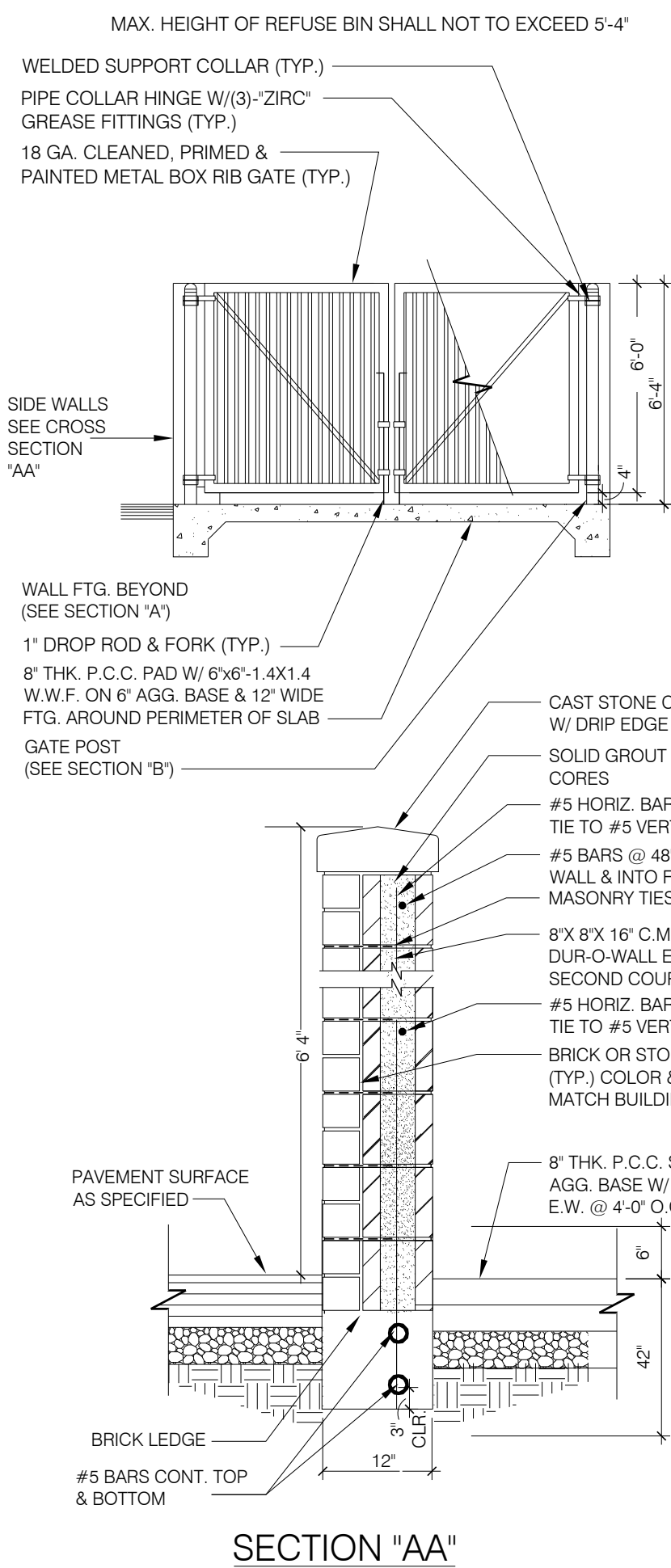
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Date: 4-24-12
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8 OF 9

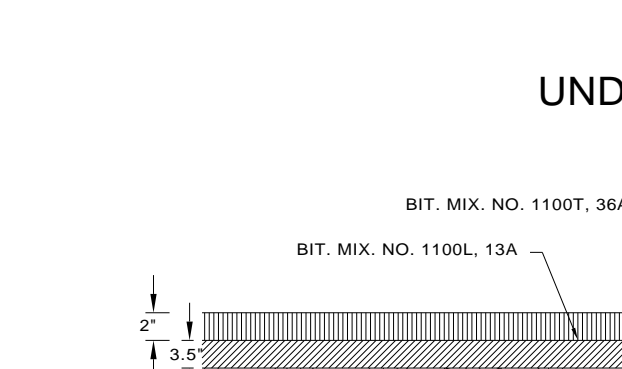
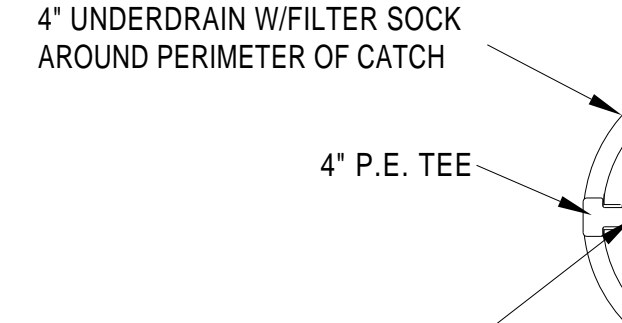
Seal & Signature:

- GENERAL NOTES:
- ALL WORK TO BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION, MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, AND THE CITY OF NOVI STANDARDS & SPECIFICATIONS.
 - ALL SURPLUS FILL MATERIAL AND TOPSOIL SHALL BE REMOVED FROM SITE.
 - CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FROM CITY OF NOVI PRIOR TO THE START OF CONSTRUCTION.
 - THE EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHOULD CONTACT THE APPROPRIATE UTILITY COMPANY FOR THE EXACT LOCATION AND DEPTH OF EACH UTILITY.
 - THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL COSTS FOR LOCATING, REMOVING, REPLACING, OR RELOCATING THESE UTILITIES SHALL BE INCIDENTAL TO CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES BEFORE ANY WORK IS STARTED. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE DETERMINED BY HAND DIGGING.
 - CONTRACTOR SHALL NOTIFY PROPER GOVERNMENTAL INSPECTION AGENCY 48 HOURS PRIOR TO STARTING CONSTRUCTION.
 - COMPACTED SAND BACKFILL M.D.O.T CLASS II LIMITED TO 1" MAXIMUM SIZE OR APPROVED EQUAL IS TO BE USED EXCLUSIVELY IN ALL UTILITY TRENCHED UNDER AREAS OR WITHIN A 1' ON 1' INFLUENCE OF THE PAVED AREAS THROUGHOUT THE COURSE OF THE PROJECT UNLESS OTHERWISE SPECIFIED COMPACT TO 95% OF ITS MAXIMUM UNIT WEIGHT AS DETERMINED BY ASTM D 1557-78.
 - THE CONTRACTOR SHALL ABIDE BY ALL REQUIREMENTS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION REGARDING CONSTRUCTION MAINTAINING TRAFFIC, BARRICADING, BORING, BACKFILL AND RESTORATION. THERE WILL BE NO ADDITIONAL COMPENSATION DUE TO THE CONTRACTOR FOR COMPLYING WITH THESE REQUIREMENTS.
 - THE CONTRACTOR SHALL BE REQUIRED TO COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP CONSTRUCTION FOR EXTENDED PERIODS ONCE CONSTRUCTION HAS BEGUN.
 - THE CONTRACTOR SHALL FURNISH THE OWNER & THE CITY OF NOVI ONE COMPLETE SET OF "AS-BUILT" MYLARS UPON COMPLETION OF THE PROJECT. REFER TO ARTICLE 11-301(CI) FOR CITY OF NOVI AS-BUILT REQUIREMENTS.
 - THE CONTRACTOR SHALL MAINTAIN IN SERVICE ALL EXISTING SANITARY SEWER, WATER OR STORM SEWER SERVICE CONNECTIONS.
 - THE CONTRACTOR SHALL REMOVE OFF SITE ALL TREES, VEGETATION, CONCRETE, STUMPS, FOOTING, AND FOUNDATIONS FROM PROJECT SITE AND DISPOSED OF AT A DISPOSAL SITE APPROVED TO ACCEPT THIS DEBRIS. PROVIDE OWNER WITH LOCATION(S) OF DISPOSAL SITE(S).
 - DUMPSTER ENCLOSURE TO BE CMU CONSTRUCTION. CONTRACTOR TO SUBMIT FENCE GATE AND ENCLOSURE DETAILS TO ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTORS SHALL NOT ADJUST STRUCTURES TO FINAL GRADE UNTIL FINAL CURB AND PAVEMENT ELEVATIONS HAVE BEEN STAKED.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES, AND MATERIAL CERTIFICATIONS FOR APPROVAL PRIOR TO ORDERING MATERIALS.

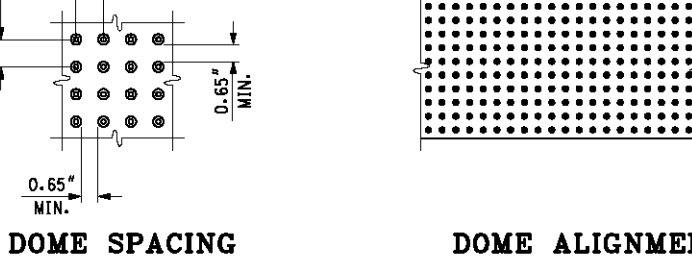
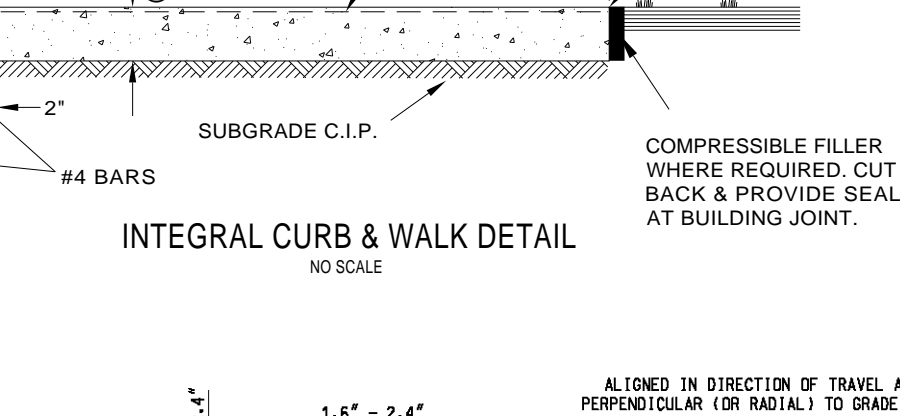
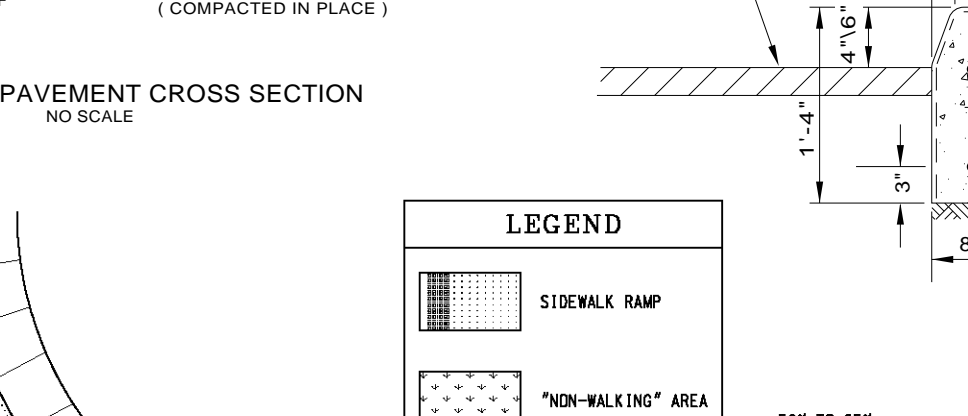
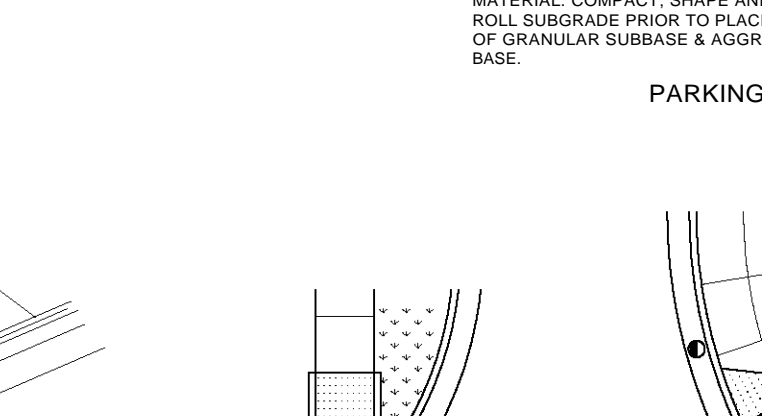
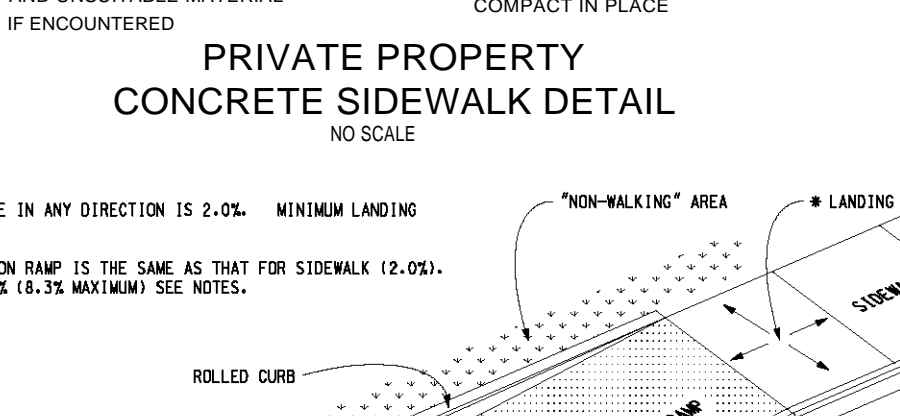
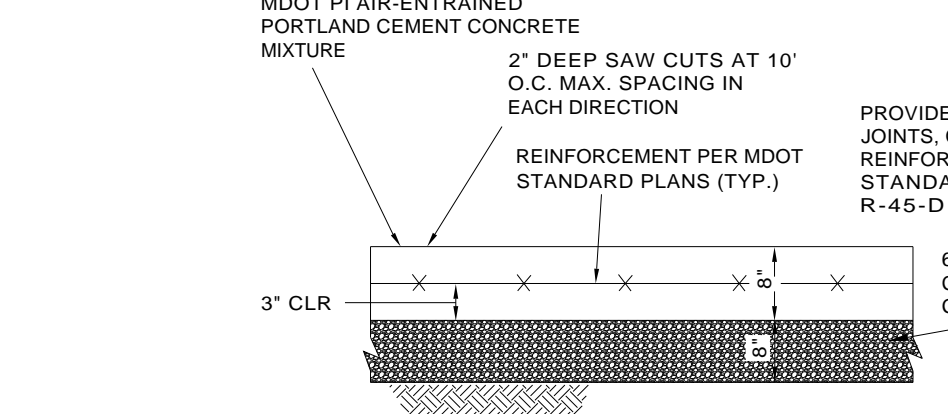
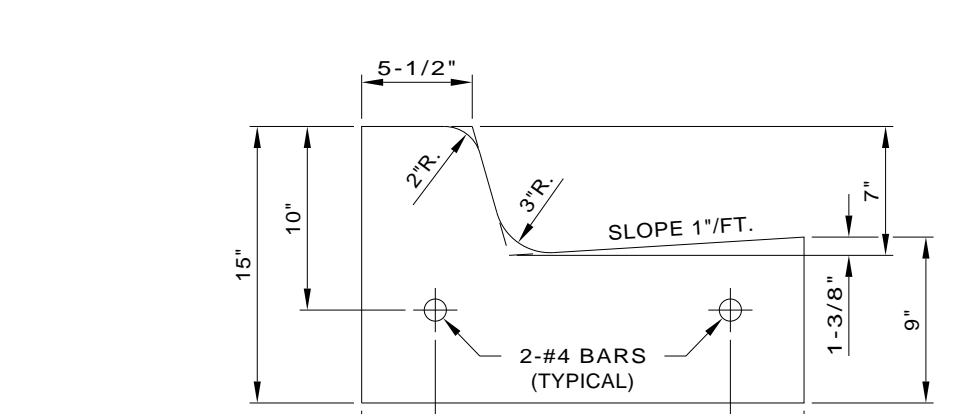
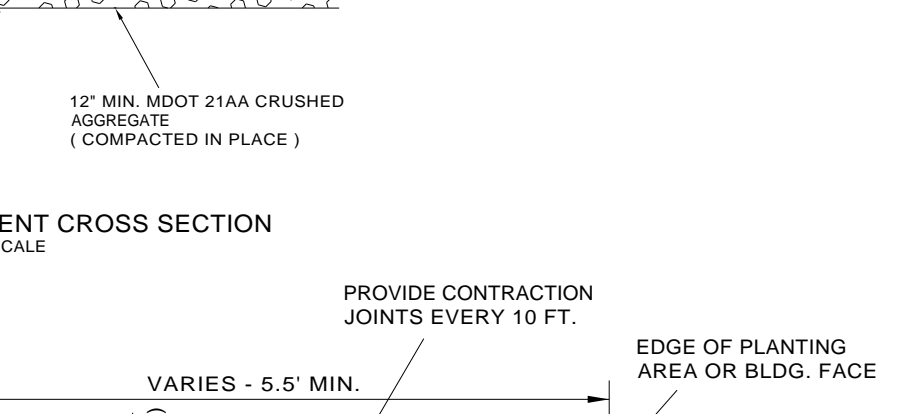
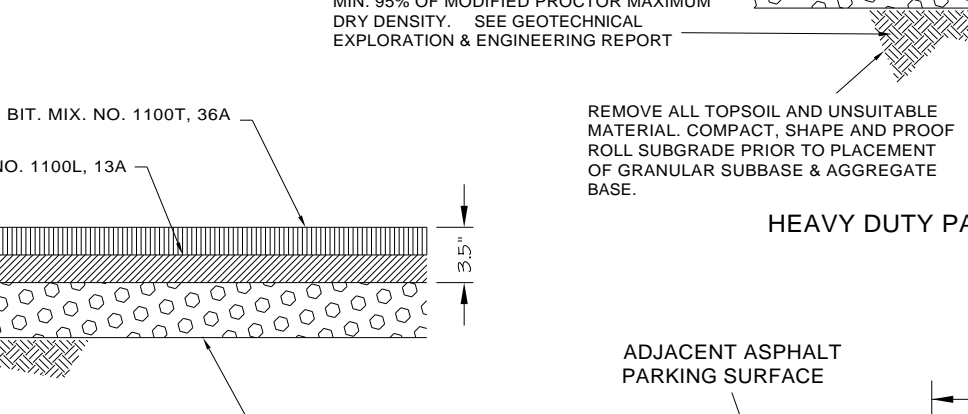
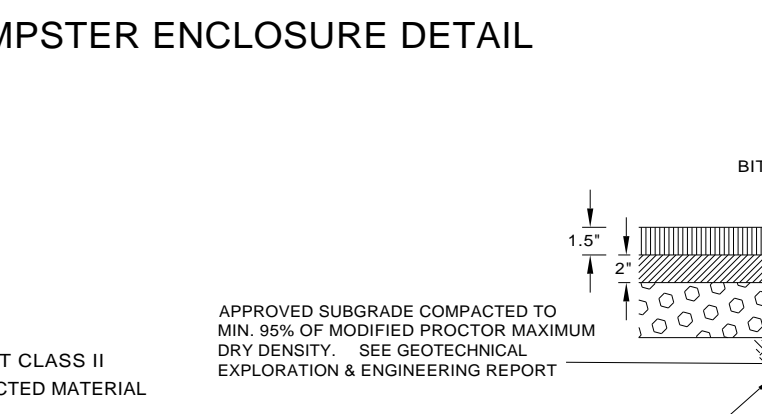
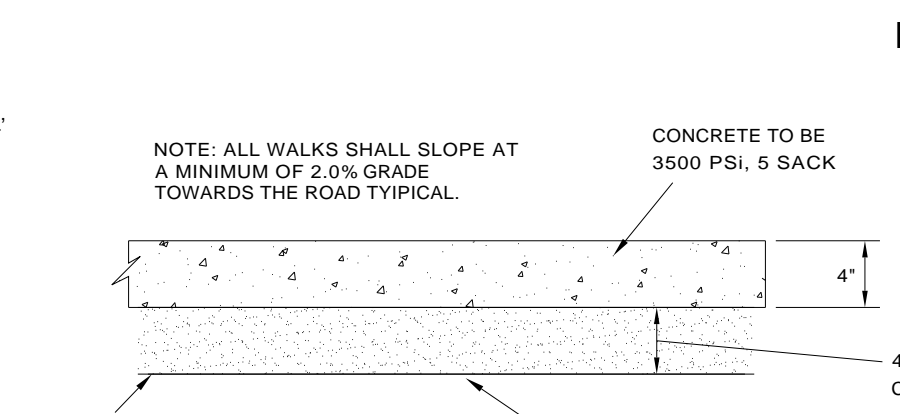
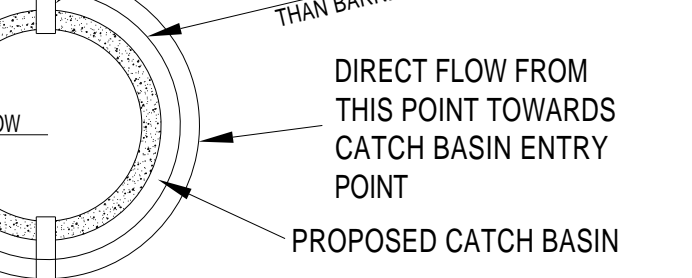
- GENERAL NOTES: BITUMINOUS PAVING
- CONTRACTOR TO THOROUGHLY CLEAN PAVEMENT PRIOR TO PLACEMENT OF FINAL LIFT BITUMINOUS SURFACING.
 - ALL WORK TO BE DONE IN ACCORDANCE WITH M.D.O.T. 1990 STANDARD SPECIFICATIONS FOR CONSTRUCTION. SECTION 4.00.04 THRU 4.00.19.
 - BITUMINOUS MIXTURE TO BE IN ACCORDANCE WITH M.D.O.T. 7.10.06, TABLE 7.10.2.
 - BITUMINOUS MIX TO BE M.D.O.T. NO. 1100T 36A AND M.D.O.T. NO. 1100L 20AA, A-C 120-150 OR APPROVED EQUAL. THICKNESS IS SPECIFIED ON DETAIL.
 - ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH THE DESIGN AND PAVEMENT REQUIREMENTS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - PAVEMENT STRIPING SHALL BE MDT FAST DRY PAVEMENT MARKING. ALL ARROWS, STOP BARS, AND LANE LINES (4" WIDE SINGLE LINE) BETWEEN TURN LANES AND LANES IN THE SAME DIRECTION OF TRAVEL SHALL BE WHITE. LINES SEPARATING OPPOSITE DIRECTIONS OF TRAFFIC SHALL BE 4" WIDE DOUBLE YELLOW. BARRIER-FREE SPACE MARKINGS AND HATCHING SHOULD BE BLUE AND ALL OTHER MARKING MAY BE EITHER WHITE OR YELLOW. ALL PEDESTRIAN CROSS WALKS SHALL BE STRIPED WITH 12" WIDE WHITE DIAGONAL LINES AT 45° ANGLES SPACED 24" APART (TYP.).
- STORM SEWER
- REINFORCED CONCRETE C-76 CL IV W/ PREMIUM JOINT.
 - PRIOR TO CONSTRUCTION ANY DRAINAGE STRUCTURE, THE CONTRACTOR SHALL DETERMINE FOR HIMSELF WHAT TYPE OF TOP SECTION HE SHALL USE IN ESTABLISHING THE DESIGNATED RIM ELEVATIONS.
 - CASTINGS AND FRAMES WITHIN PARKING AREA SHOULD BE EJIW I300 WAY TYPE M2 COVER. USE SOLID COVER HEAVY DUTY ON ALL STORM MANHOLES.
 - CASTINGS WITHIN 18" CURB & GUTTER SHALL BE EJIW 7205M
- WATERLINE
- MINIMUM COVER TO TOP OF WATERMAIN SHALL BE 6 FEET FROM FINISHED GRADE.
 - MINIMUM HORIZONTAL DISTANCE BETWEEN WATERMAINS AND SEWERS SHALL BE 10 FEET.
 - ALL PRESSURE TAPS TO EXISTING WATERMAINS SHALL BE MADE ONLY UNDER CITY OF NOVI SUPERVISION. CONTRACTOR SHALL NOTIFY THE CITY OF NOVI FOR OPENING AND/OR CLOSING EXISTING VALVES OR WHEN CONNECTING TO EXISTING STUBS, AND FOR ALL PRESSURE TAPS.
 - ALL MATERIALS TO BE APPROVED BY THE CITY OF NOVI PRIOR TO THE START OF CONSTRUCTION.
- SANITARY SEWER
- SANITARY SEWER PIPE:
 - 1) MAINLINE: SDR-26 P.V.C. OR ABS TRUSSWELDED JOINTS.
 - 2) SEWER SERVICES: PVC ASTM D3034 SDR 23.5.
 - ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE LATEST CITY OF NOVI STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR SANITARY SEWER CONSTRUCTION.
 - ALL SEWER WILL BE INSPECTED AND GIVEN FINAL APPROVAL BY THE CITY OF NOVI BEFORE BACKFILLING IS ALLOWED.
 - ALL TRENCHES TO BE COMPACTED TO 95% MAXIMUM DENSITY ASTM D-1557.



(4) x 50-LF 4\"/>

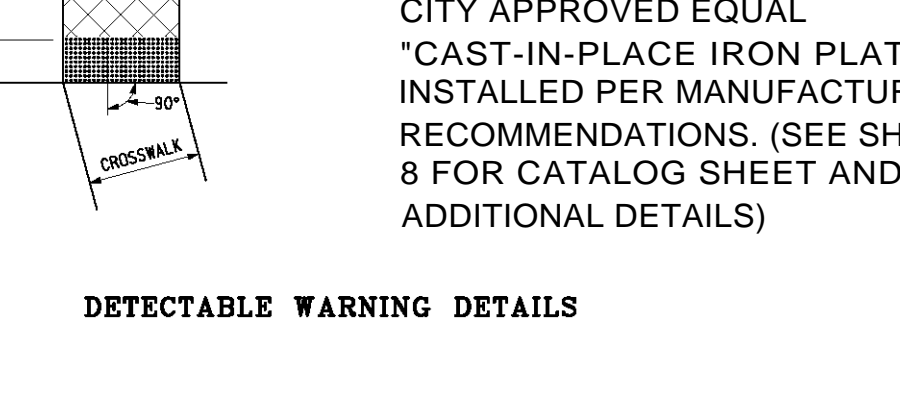
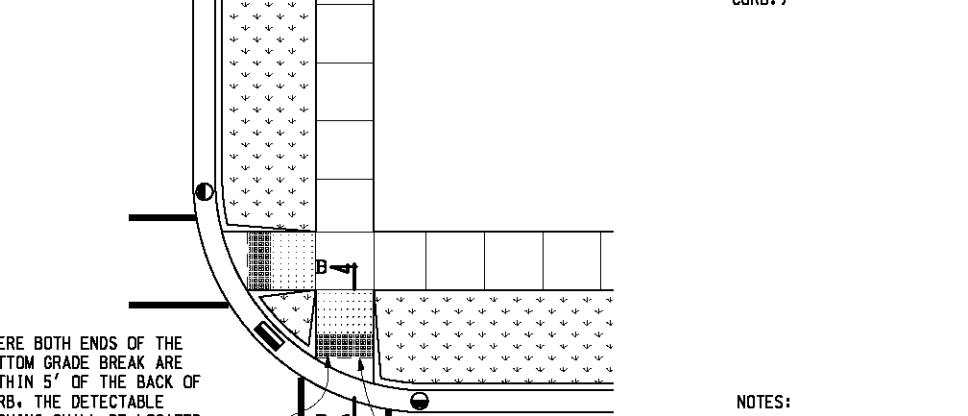
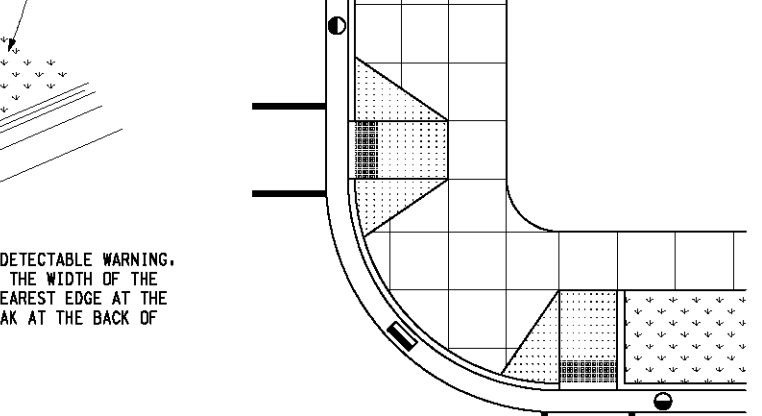
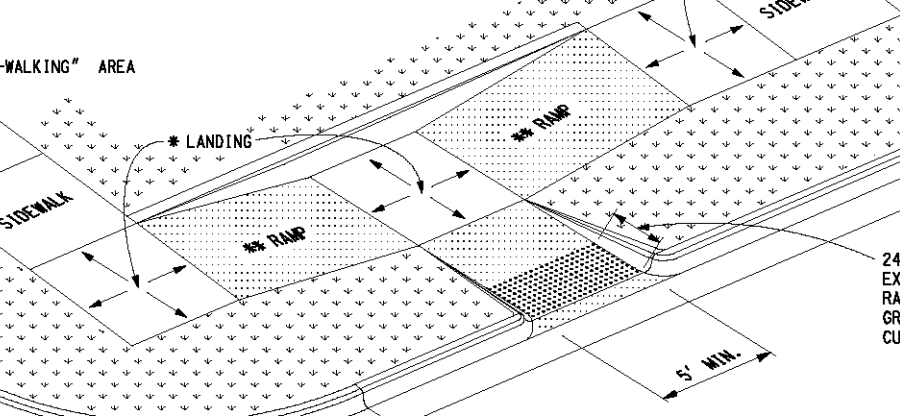
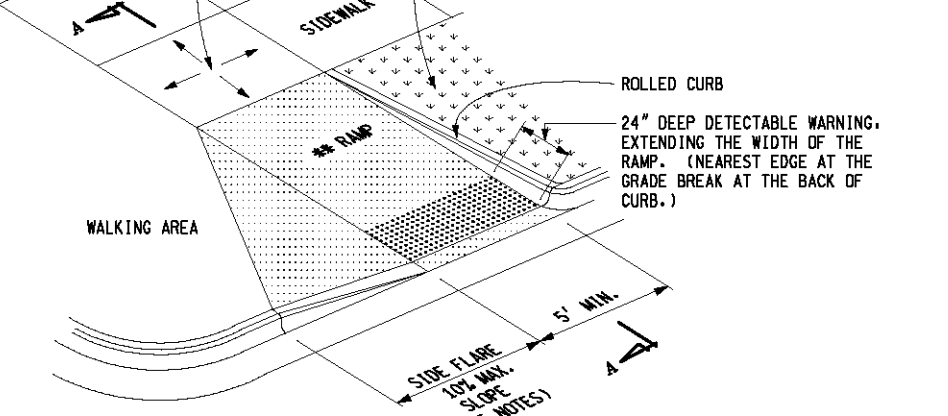
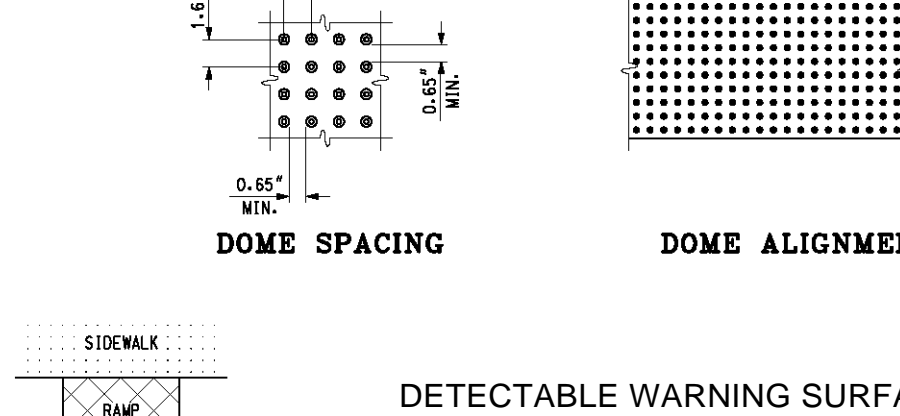
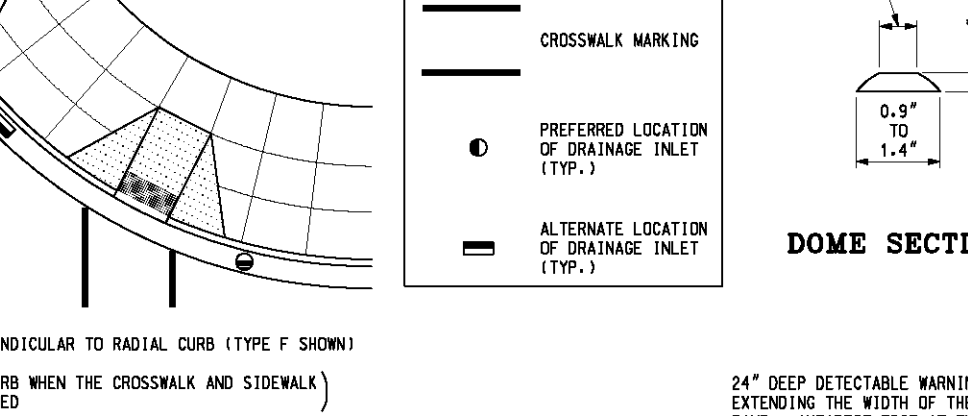
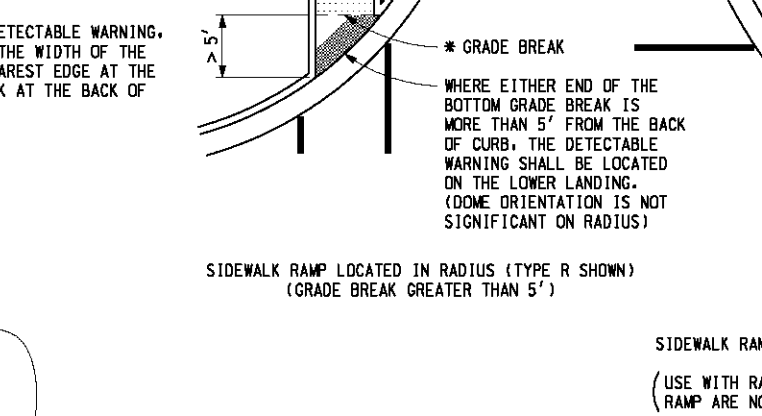
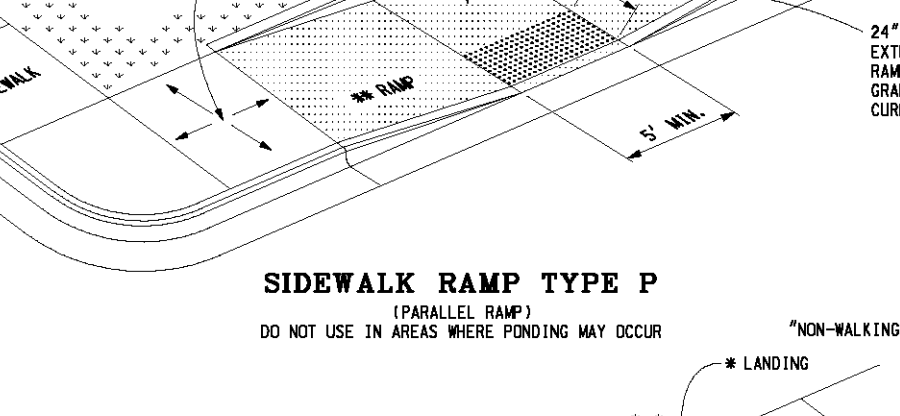
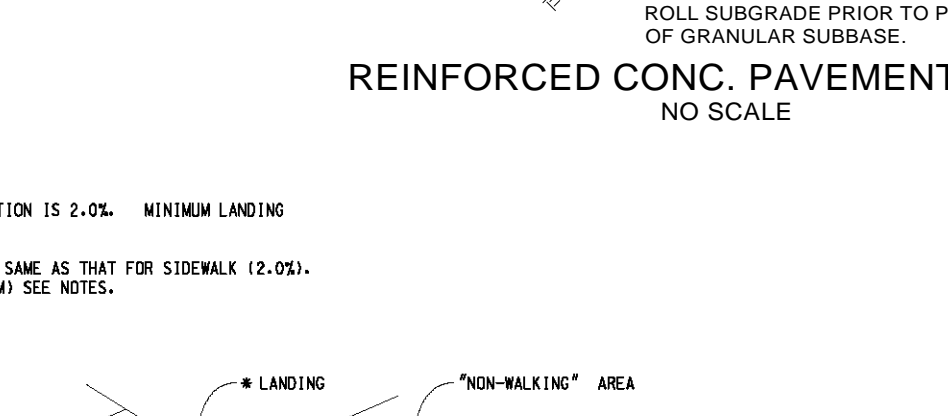


CORE PROPOSED CATCH BASIN FOR INDIVIDUAL UNDER DRAINS TYPICAL. (NO TEE CONNECTORS MAY BE USED TO COMBINE UNDER DRAINS.)



NO SCALE

- MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2.0%. MINIMUM LANDING DIMENSIONS 5' x 5'.
- MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2.0%). RUNNING SLOPE 5% - 7% (6.3% MAXIMUM) SEE NOTES.
- MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2.0%. MINIMUM LANDING DIMENSIONS 5' x 5'.
- MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2.0%). RUNNING SLOPE 5% - 7% (6.3% MAXIMUM) SEE NOTES.



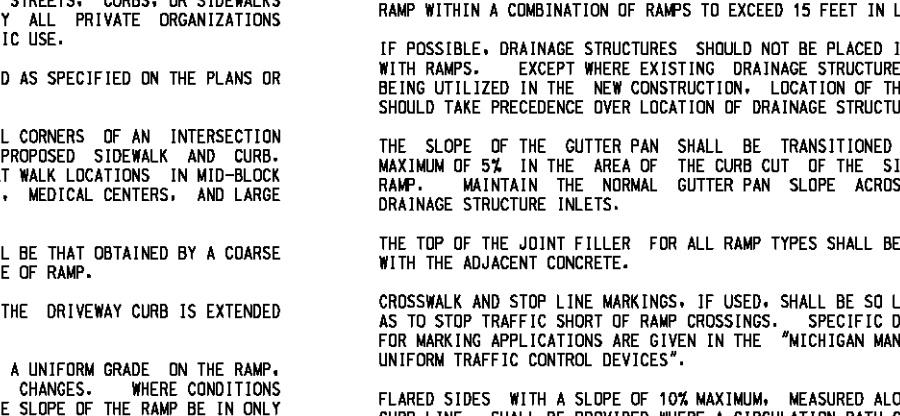
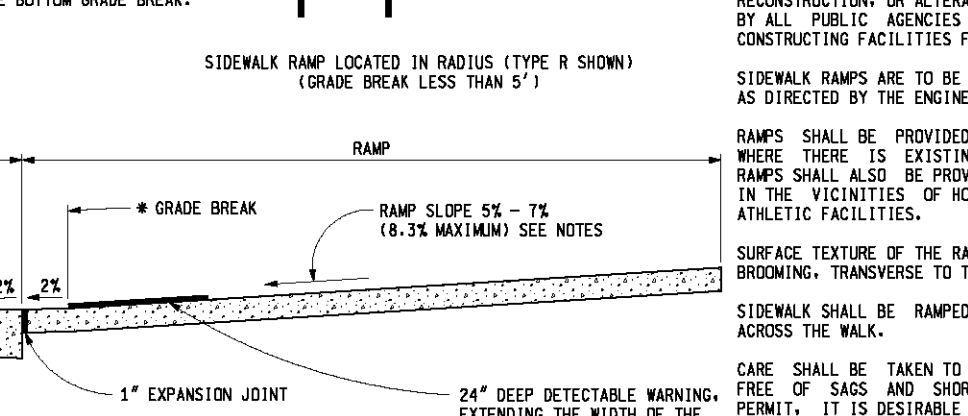
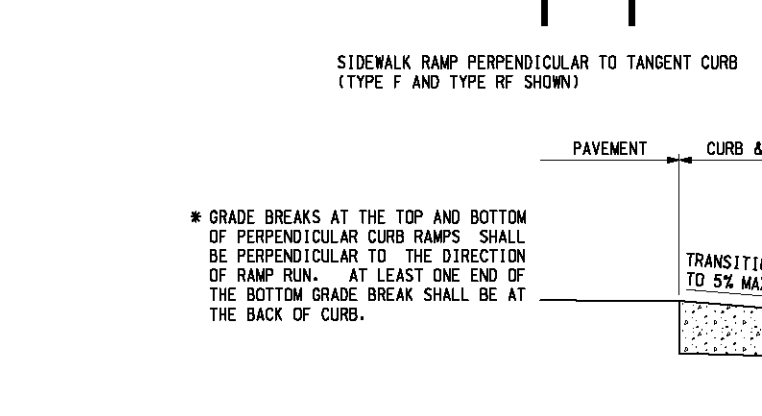
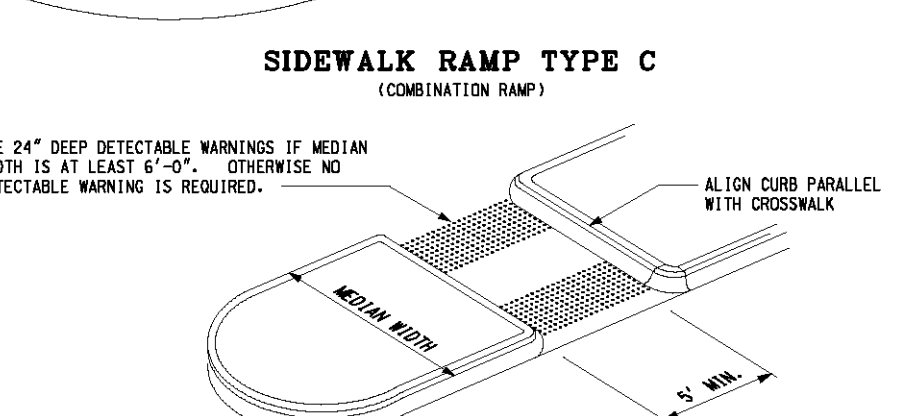
SECTION A-A

PAVEMENT SHALL END FLUSH WITH THE GUTTER PAN

MAXIMUM SLOPE NOT TO EXCEED 0.3%

TRANSITION TO 5% MAX.

SECTION THROUGH CURB CUT (TYPICAL ALL RAMP TYPES)



SECTION B-B

TRANSITION TO 5% MAX.

2% 2%

1\"/>

SECTION A-A

PAVEMENT SHALL END FLUSH WITH THE GUTTER PAN

MAXIMUM SLOPE NOT TO EXCEED 0.3%

TRANSITION TO 5% MAX.

SIDEWALK RAMP TYPE M (MEDIAN ISLAND)

SECTION B-B

SIDEWALK RAMP ORIENTATION

SECTION B-B

SIDEWALK RAMP ORIENTATION

SECTION A-A

SIDEWALK RAMP ORIENTATION

Diffin-Umlor & ASSOCIATES
Civil Engineering • Surveying • Landscaping • Construction Services

24353 TARA DR
SOUTH LYON, MI 48178
(P): 248-431-9955
(F): 866-690-4307

REVISIONS

CLIENT: SPIGEL PROPERTIES, INC

SECTION 15

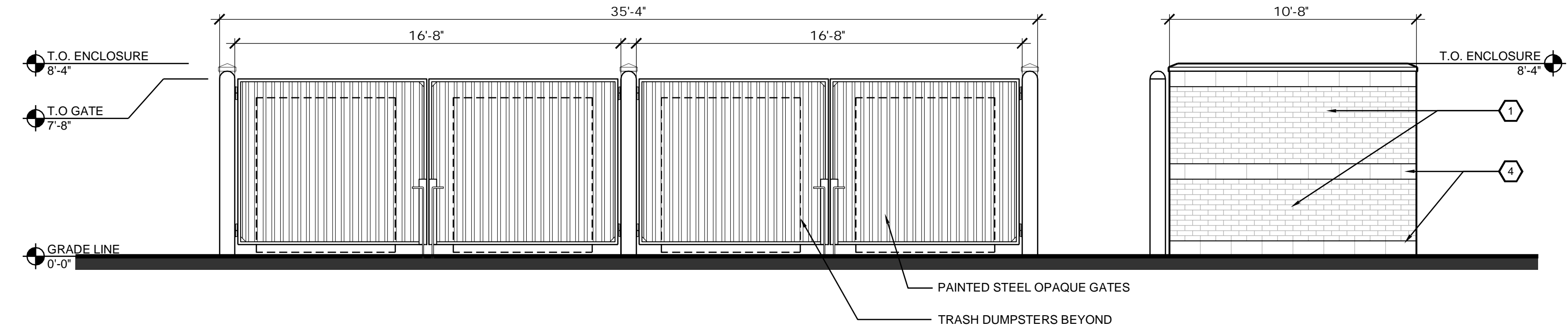
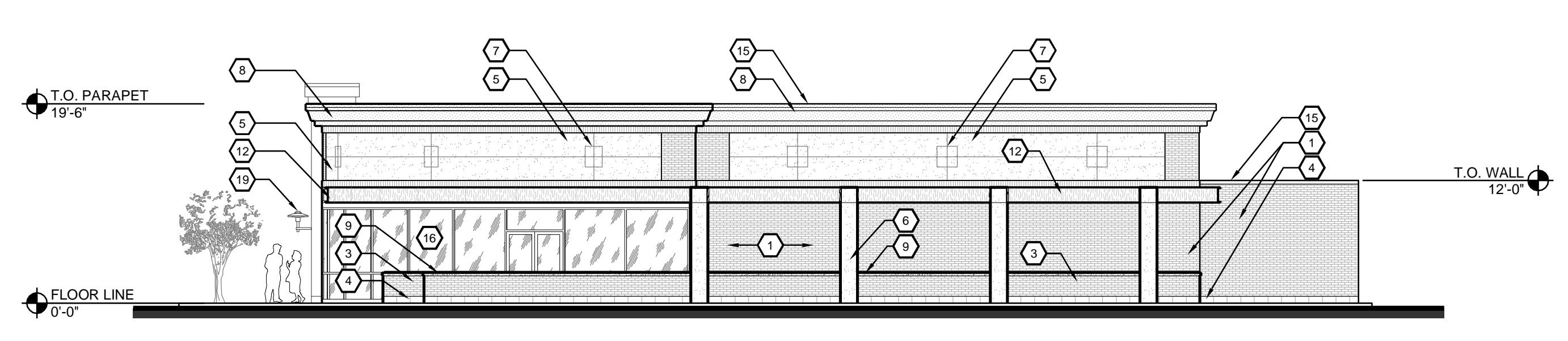
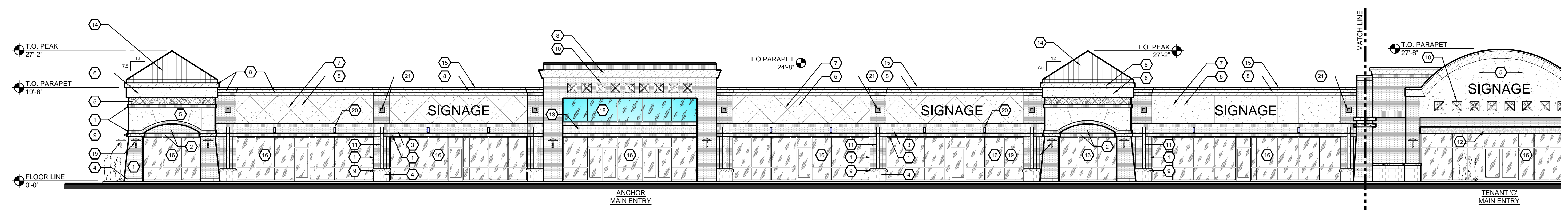
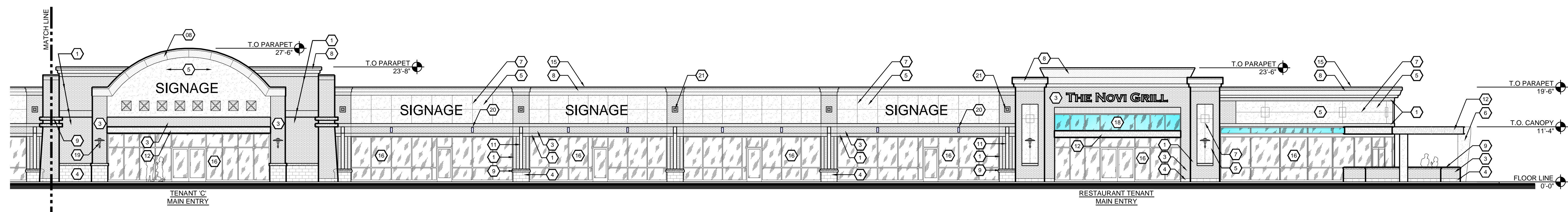
TOWN 1 NORTH, RANGE 8 EAST

CITY OF NOVI

OAKLAND COUNTY, MICHIGAN

Date: 4-24-12
Drawn By: AS
P.E.: MATT DIFFIN
SCALE: AS SHOWN

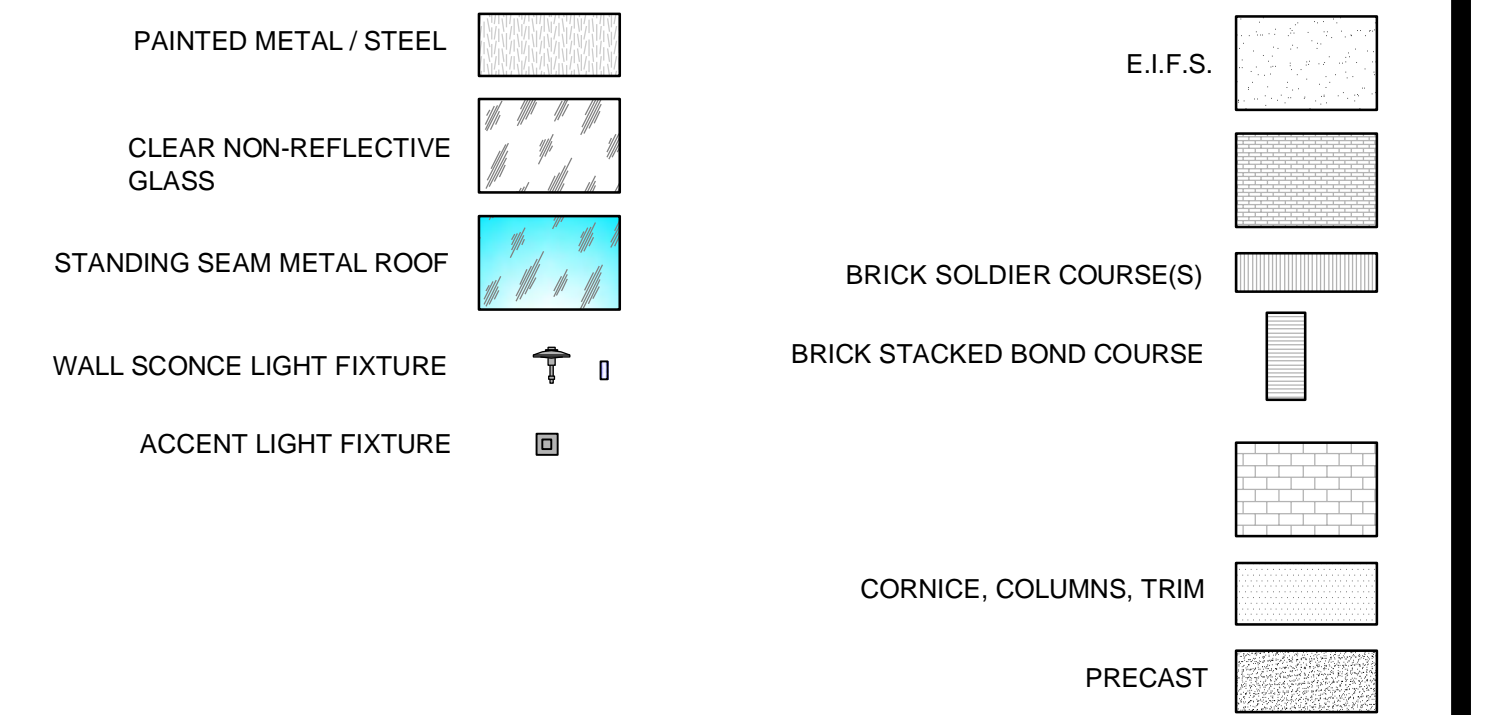
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Sheet No. 9 OF 9



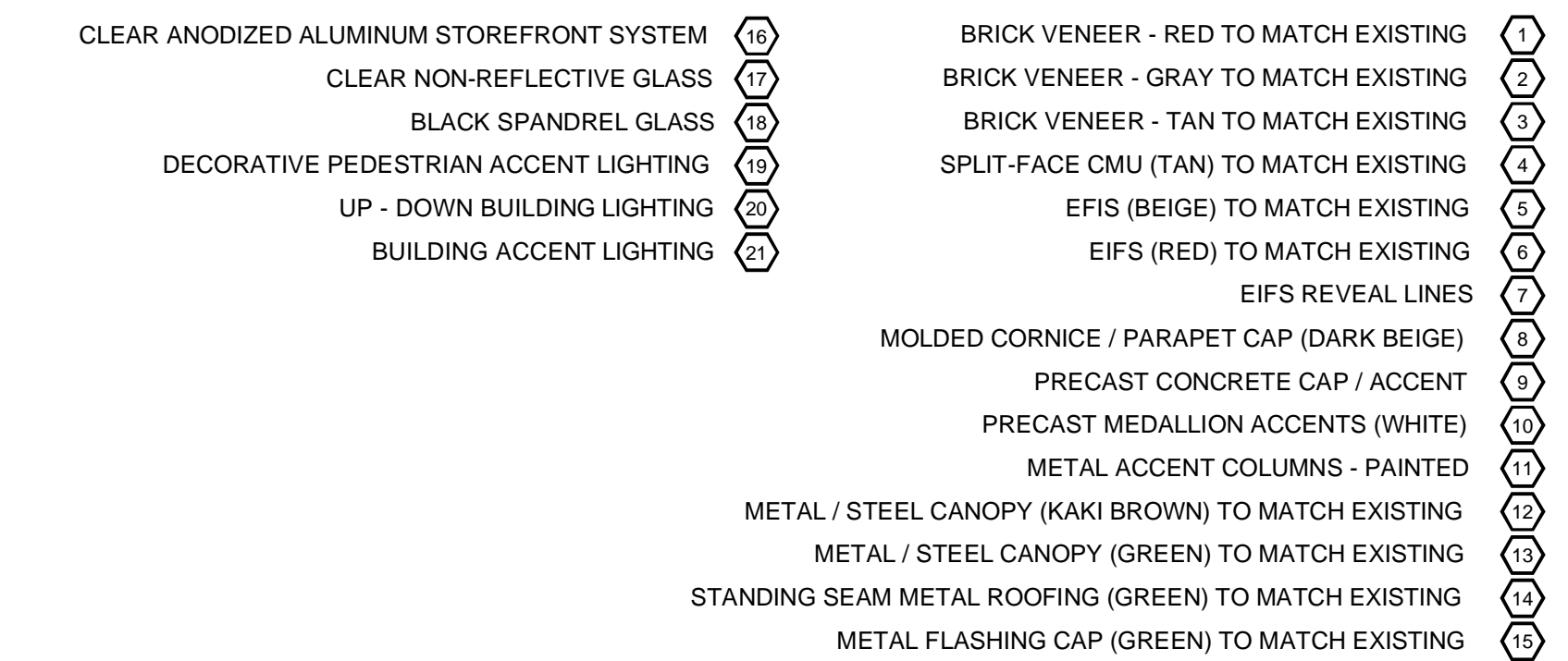
MATERIAL CALCULATIONS

MATERIAL	BACK	WEST	EAST	FRONT	TOTAL
BRICK (30% MIN.)	6,095 S.F. 55.3%	1,542 S.F. 49.4%	748 S.F. 46.2%	3,232 S.F. 43.4%	11,617 S.F. 50.0%
CMU (10% MAX.)	1,157 S.F. 10.5%	437 S.F. 14.0%	153 S.F. 9.4%	187 S.F. 2.5%	1,934 S.F. 8.3%
EIFS (25% MAX.)	2,759 S.F. 25.1%	685 S.F. 21.9%	352 S.F. 21.7%	2,412 S.F. 32.4%	6,208 S.F. 26.7%
CORNICE/TRIM (15%)	975 S.F. 8.8%	326 S.F. 10.5%	219 S.F. 13.5%	1,046 S.F. 14.0%	2,566 S.F. 11.1%
METAL/STEEL (25%)	36 S.F. 0.3%	0 S.F. 0%	149 S.F. 9.2%	164 S.F. 2.2%	349 S.F. 1.5%
SPANDREL (50%)	0 S.F. 0%	0 S.F. 0%	0 S.F. 0%	270 S.F. 3.6%	270 S.F. 1.2%
STANDING SEAM (50%)	0 S.F. 0%	130 S.F. 4.2%	0 S.F. 0%	140 S.F. 1.9%	270 S.F. 1.2%
SURFACE AREA TOTALS	11,022 S.F. 100.0%	3,120 S.F. 100.0%	1,621 S.F. 100.0%	7,451 S.F. 100.0%	23,214 S.F. 100.0%

MATERIALS LEGEND



ELEVATION KEYNOTES



NEW RETAIL BUILDING

TWELVE MILE CROSSING
 AT FOURTH AND WALK
 TWELVE MILE ROAD
 NOVI, MICHIGAN

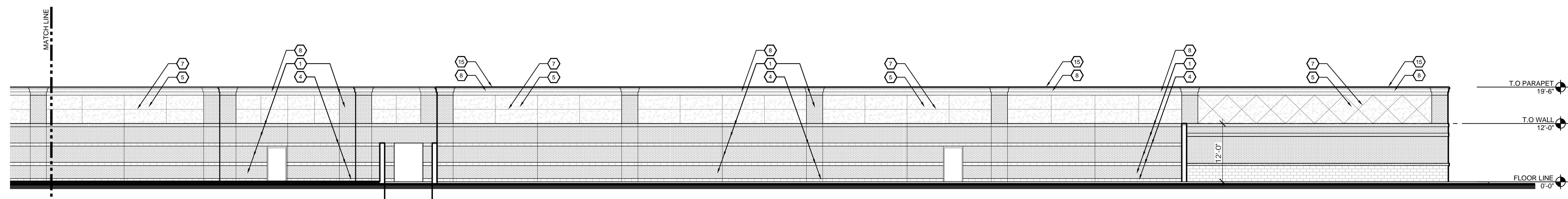
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PROJ. NO.	11004.1
DRAWN	SAB
CHECKED	SAB

ISSUED/REVISED	DATE
INITIAL SUBMITTAL	04-24-12

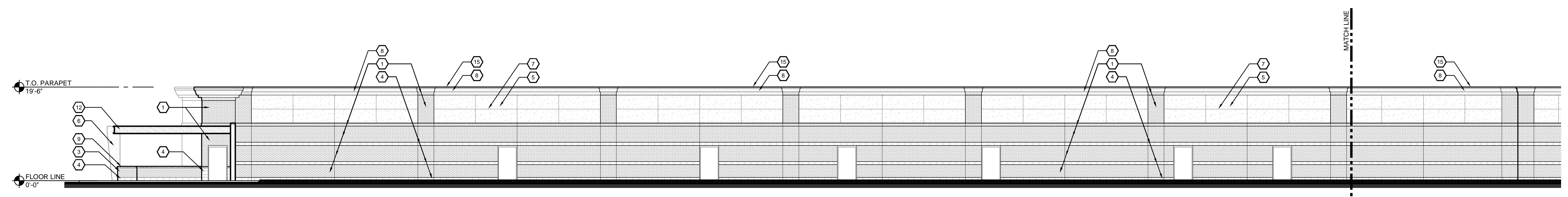
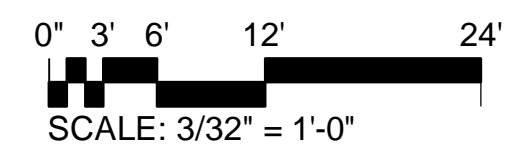
DRAWING TITLE	PROPOSED EXTERIOR ELEVATIONS
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A2.1

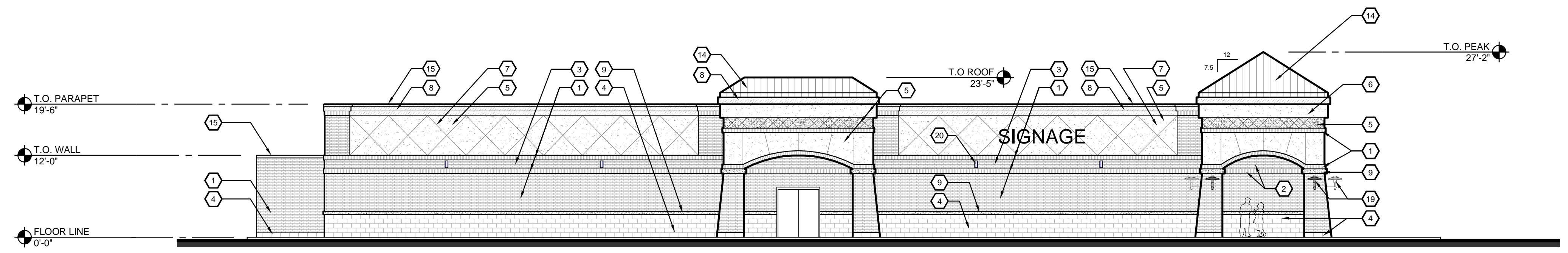
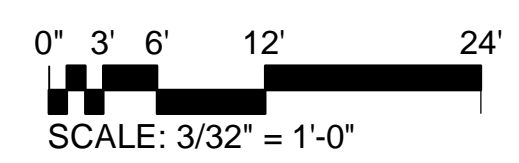
PRELIMINARY SITE PLAN SUBMITTAL 04-24-12



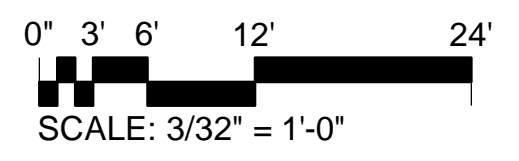
- PROPOSED PARTIAL REAR ELEVATION (NORTH)
 SCALE: 3/32" = 1'-0"



- PROPOSED PARTIAL REAR ELEVATION (NORTH)
 SCALE: 3/32" = 1'-0"



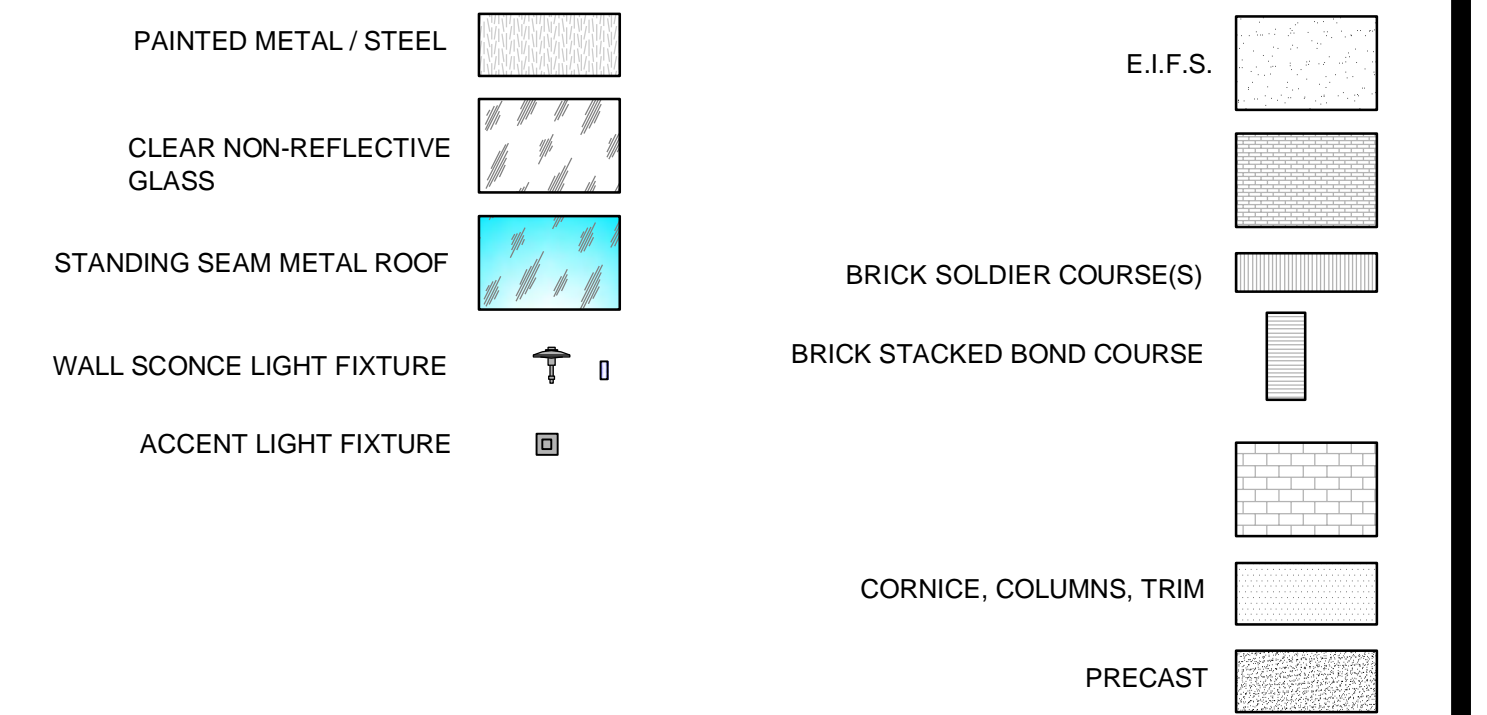
- PROPOSED LEFT SIDE ELEVATION (WEST)
 SCALE: 3/32" = 1'-0"



MATERIAL CALCULATIONS

MATERIAL	BACK	WEST	EAST	FRONT	TOTAL
BRICK (30% MIN.)	6,095 S.F. 55.3%	1,542 S.F. 49.4%	748 S.F. 46.2%	3,232 S.F. 43.4%	11,617 S.F. 50.0%
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SURFACE AREA TOTALS	11,022 S.F. 100.0%	3,120 S.F. 100.0%	1,621 S.F. 100.0%	7,451 S.F. 100.0%	23,214 S.F. 100.0%

MATERIALS LEGEND



ELEVATION KEYNOTES

- CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM (16)
- CLEAR NON-REFLECTIVE GLASS (17)
- BLACK SPANDREL GLASS (18)
- DECORATIVE PEDESTRIAN ACCENT LIGHTING (19)
- UP - DOWN BUILDING LIGHTING (20)
- BUILDING ACCENT LIGHTING (21)
- BRICK VENEER - RED TO MATCH EXISTING (1)
- BRICK VENEER - GRAY TO MATCH EXISTING (2)
- BRICK VENEER - TAN TO MATCH EXISTING (3)
- SPLIT-FACE CMU (TAN) TO MATCH EXISTING (4)
- EFIS (BEIGE) TO MATCH EXISTING (5)
- EFIS (RED) TO MATCH EXISTING (6)
- EFIS REVEAL LINES (7)
- MOLDED CORNICE / PARAPET CAP (DARK BEIGE) (8)
- PRECAST CONCRETE CAP / ACCENT (9)
- PRECAST MEDALLION ACCENTS (WHITE) (10)
- METAL ACCENT COLUMNS - PAINTED (11)
- METAL / STEEL CANOPY (KAKI BROWN) TO MATCH EXISTING (12)
- METAL / STEEL CANOPY (GREEN) TO MATCH EXISTING (13)
- STANDING SEAM METAL ROOFING (GREEN) TO MATCH EXISTING (14)
- METAL FLASHING CAP (GREEN) TO MATCH EXISTING (15)



RESTAURANT - OUTDOOR SEATING AREA



RESTAURANT - FRONT ENTRANCE



AERIAL VIEW LOOKING NORTHWEST



RESTAURANT - OUTDOOR SEATING AREA



RESTAURANT - FRONT ENTRANCE



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NEW RETAIL
BUILDING

TWELVE MILE CROSSING
AT FOUNTAIN WALK
TWELVE MILE ROAD
NOVI, MICHIGAN

DATE	04-24-12
PROJ. NO.	11004.1
DRAWN	SAB
CHECKED	SAB

ISSUED/REVISED	DATE
INITIAL SUBMITTAL	04-24-12

DRAWING TITLE	EXTERIOR RENDERINGS
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TENANT 'C' MAIN ENTRANCE



TENANT 'C' MAIN ENTRANCE



AERIAL VIEW LOOKING NORTH FROM EXISTING DEVELOPMENT



TENANT 'C' MAIN ENTRANCE



PEDESTRIAN WALKWAY ALONG RETAIL SPACES

P:\Miscellaneous\11004 - Fountain Walk - Novi, MI\11004.1 - Fountain Walk - Sheet A3.1.dwg Apr 23, 2012 - 8:11am Scott

7076 South Allen Way
Building 801C
Centennial, Colorado 80112
(303) 743-0022
CAHEN ARCHITECTURAL GROUP P.C.

CAHEN ARCHITECTURAL GROUP P.C.
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NEW RETAIL BUILDING

TWELVE MILE CROSSING
AT FOUNTAIN WALK
TWELVE MILE ROAD
NOVI, MICHIGAN

DATE	04-24-12
PROJ. NO.	11004.1
DRAWN	SAB
CHECKED	SAB

ISSUED/REVISED	DATE
INITIAL SUBMITTAL	04-24-12

DRAWING TITLE
EXTERIOR RENDERINGS

A3.1

PRELIMINARY SITE PLAN SUBMITTAL 04-24-12



ANCHOR TENANT SPACE - VIEW FROM THE WEST



ANCHOR TENANT SPACE - VIEW FROM THE SOUTHWEST



ANCHOR TENANT SPACE - MAIN ENTRANCE



AERIAL VIEW LOOKING NORTHEAST



ANCHOR TENANT SPACE - VIEW FROM THE SOUTH



ANCHOR TENANT SPACE - VIEW FROM THE SOUTHEAST



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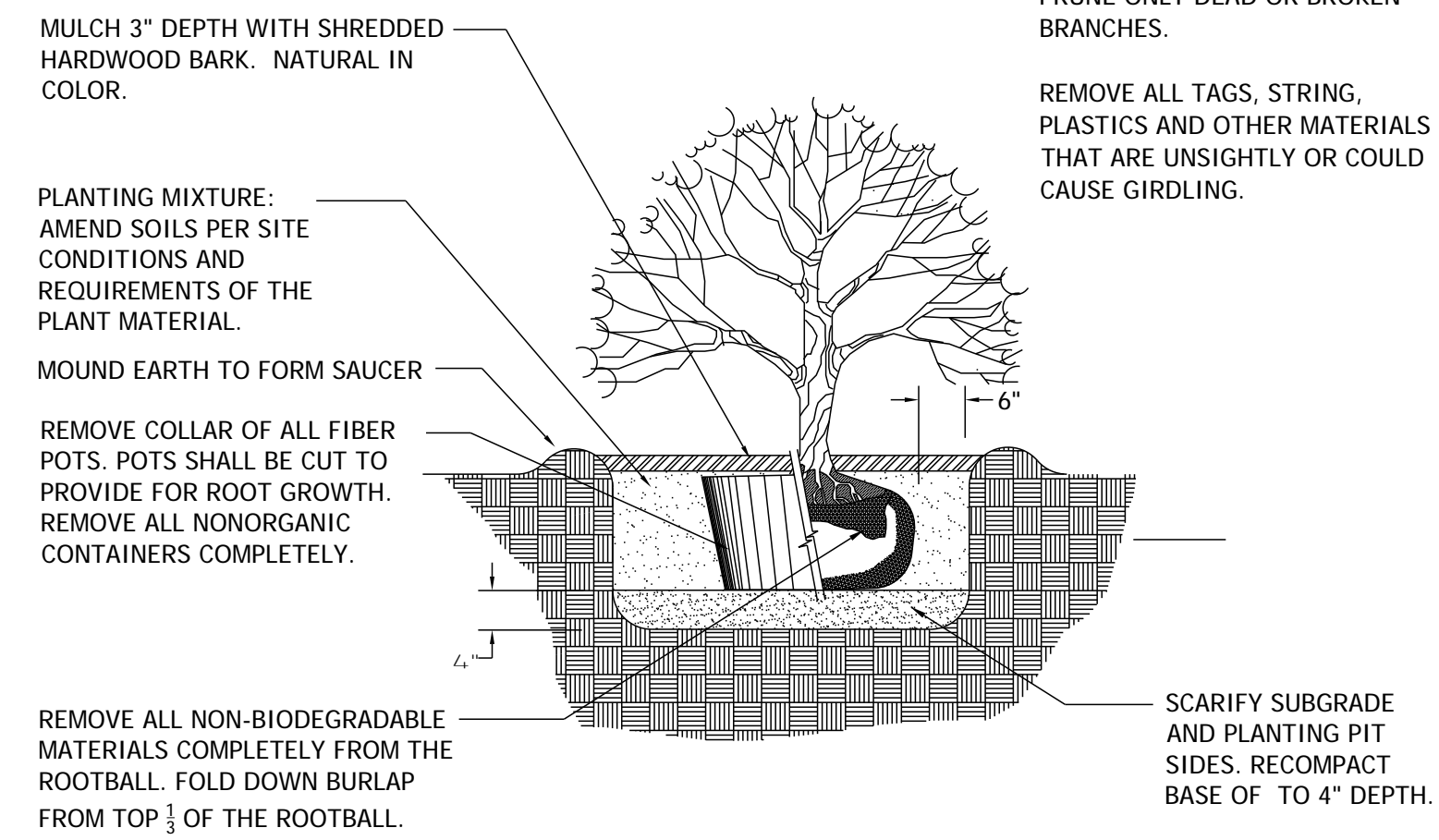
NEW RETAIL
BUILDING

TWELVE MILE CROSSING
AT FOUNTAIN WALK
TWELVE MILE ROAD
NOVI, MICHIGAN

DATE	04-24-12
PROJ. NO.	11004.1
DRAWN	SAB
CHECKED	SAB

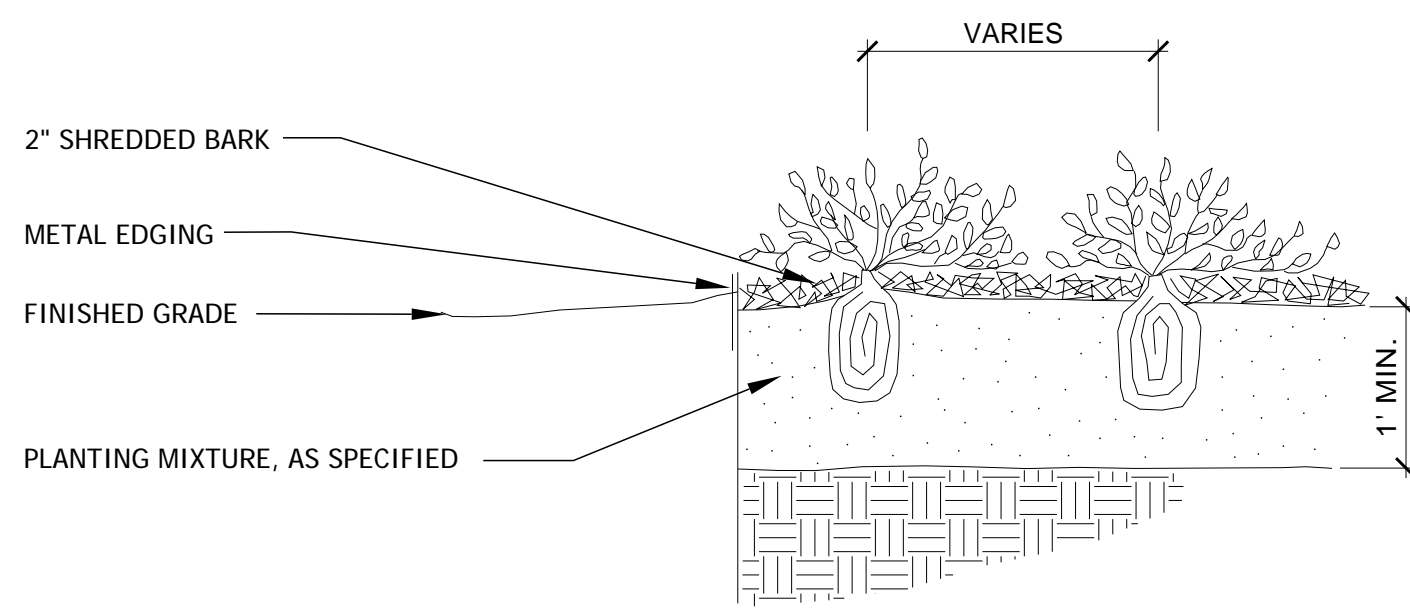
ISSUED/REVISED	DATE
INITIAL SUBMITTAL	04-24-12

DRAWING TITLE
EXTERIOR RENDERINGS



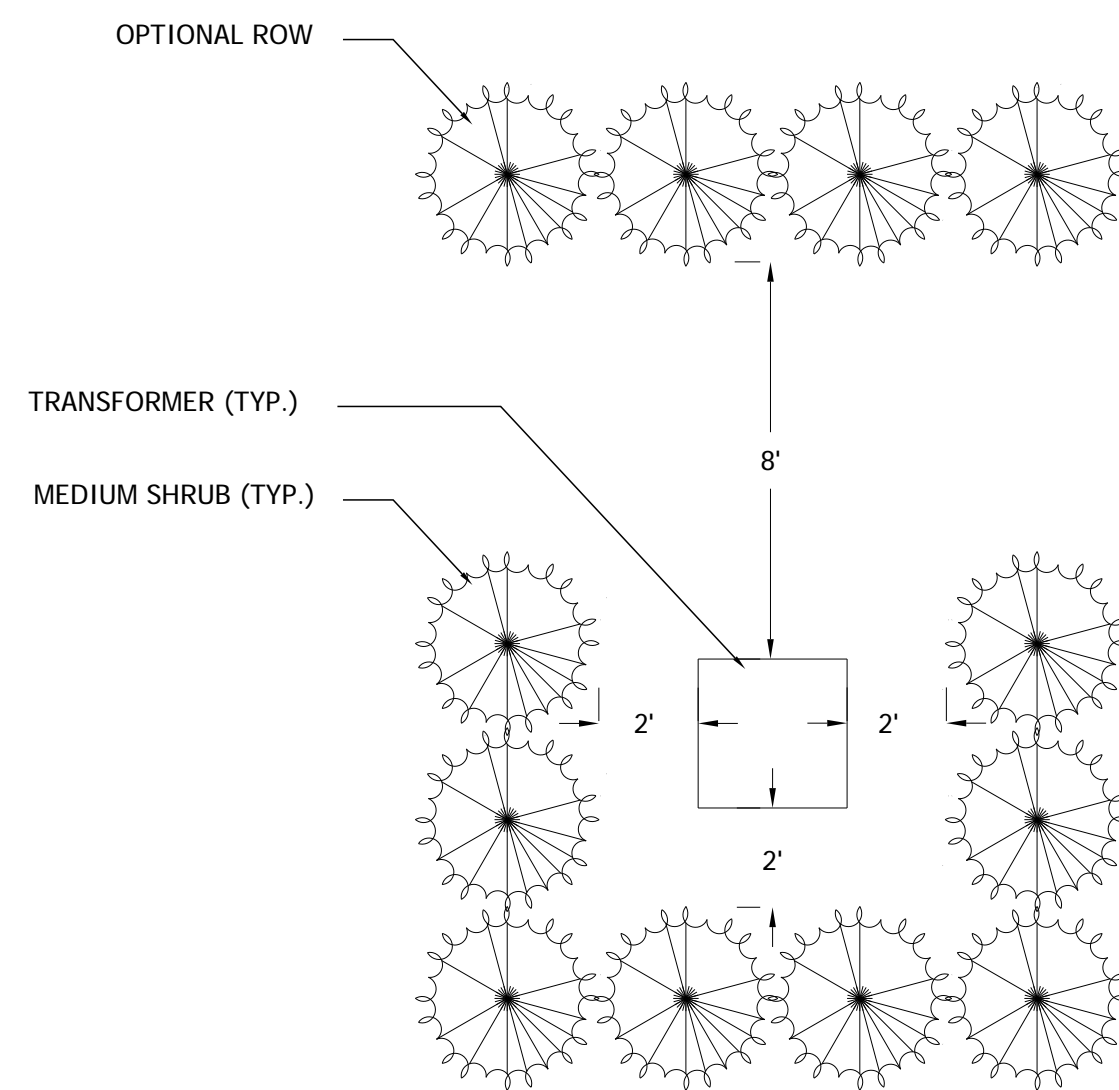
SHRUB PLANTING DETAIL

NOT TO SCALE



PERENNIAL PLANTING DETAIL

Not to scale



TRANSFORMER SCREENING DETAIL

Not to scale

NOTE:
GUY DECIDUOUS TREES ABOVE 3" CAL. STAKE DECIDUOUS TREES BELOW 3" CAL.

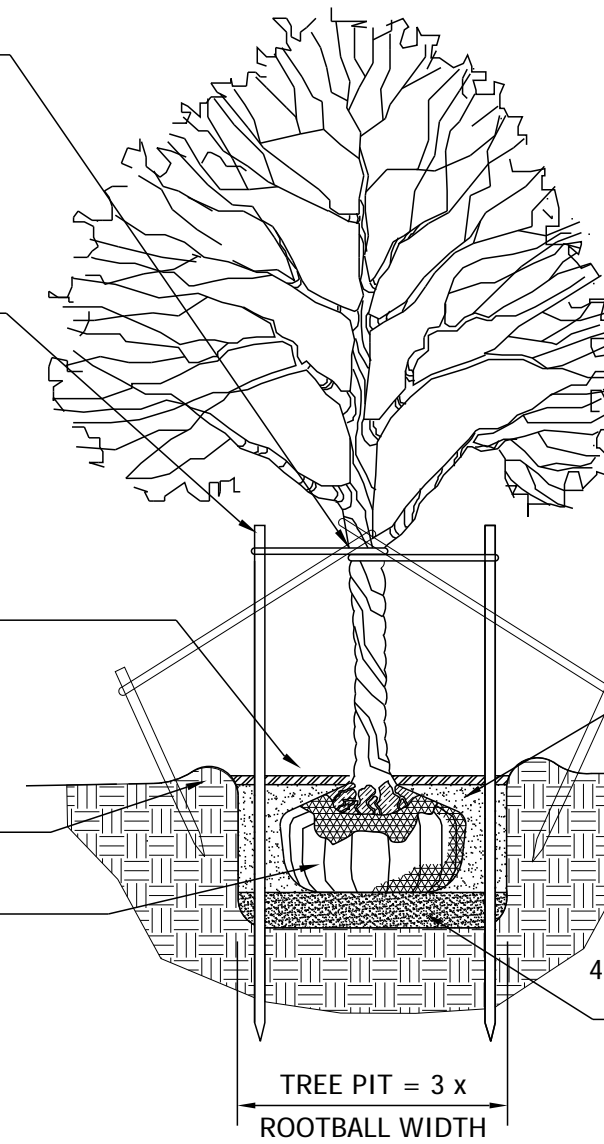
STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES, MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK.

MOUND EARTH TO FORM SAUCER

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

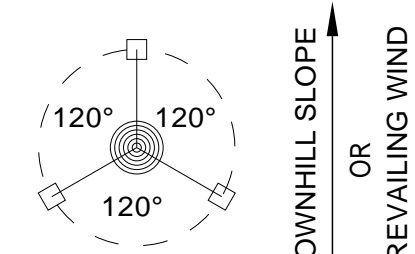
DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF TO 4" DEPTH.

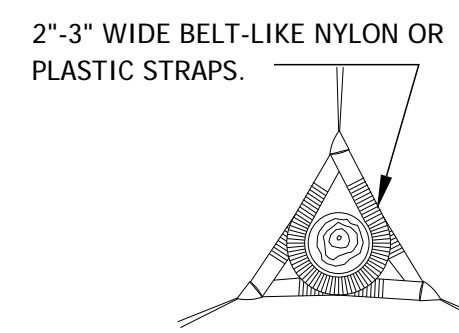
DECIDUOUS TREE PLANTING DETAIL



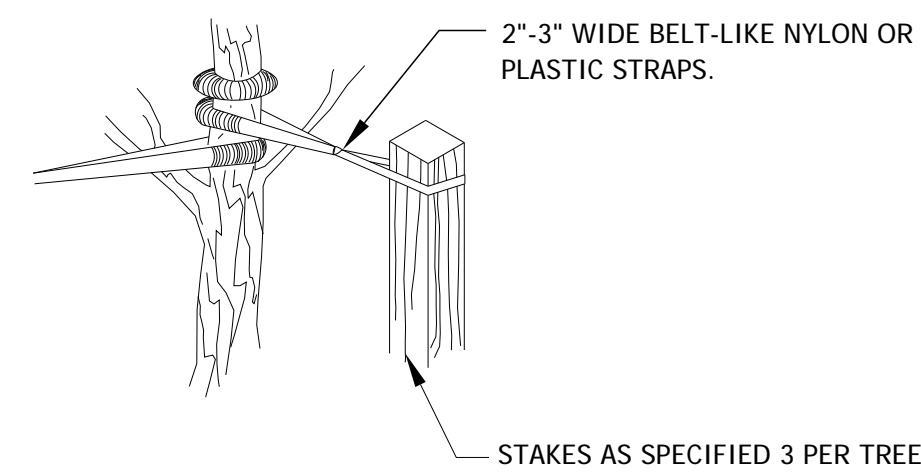
STAKING/GUYING LOCATION

NOTE:
ORIENT STAKING/GUYING TO PREVAILING WINDS, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE.

USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA



GUYING DETAIL

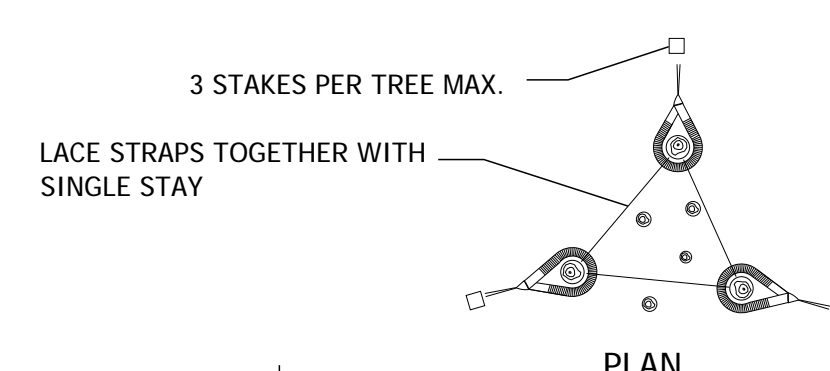


STAKING DETAIL

TREE STAKING DETAIL

Not to scale

NOTES:
PRUNE AS SPECIFIED
STAKE 3 LARGEST STEMS, IF TREE HAS MORE THAN 3 LEADERS
SET TREE STAKES VERTICAL AND AT SAME HEIGHT.



MOUND TO FORM SAUCER

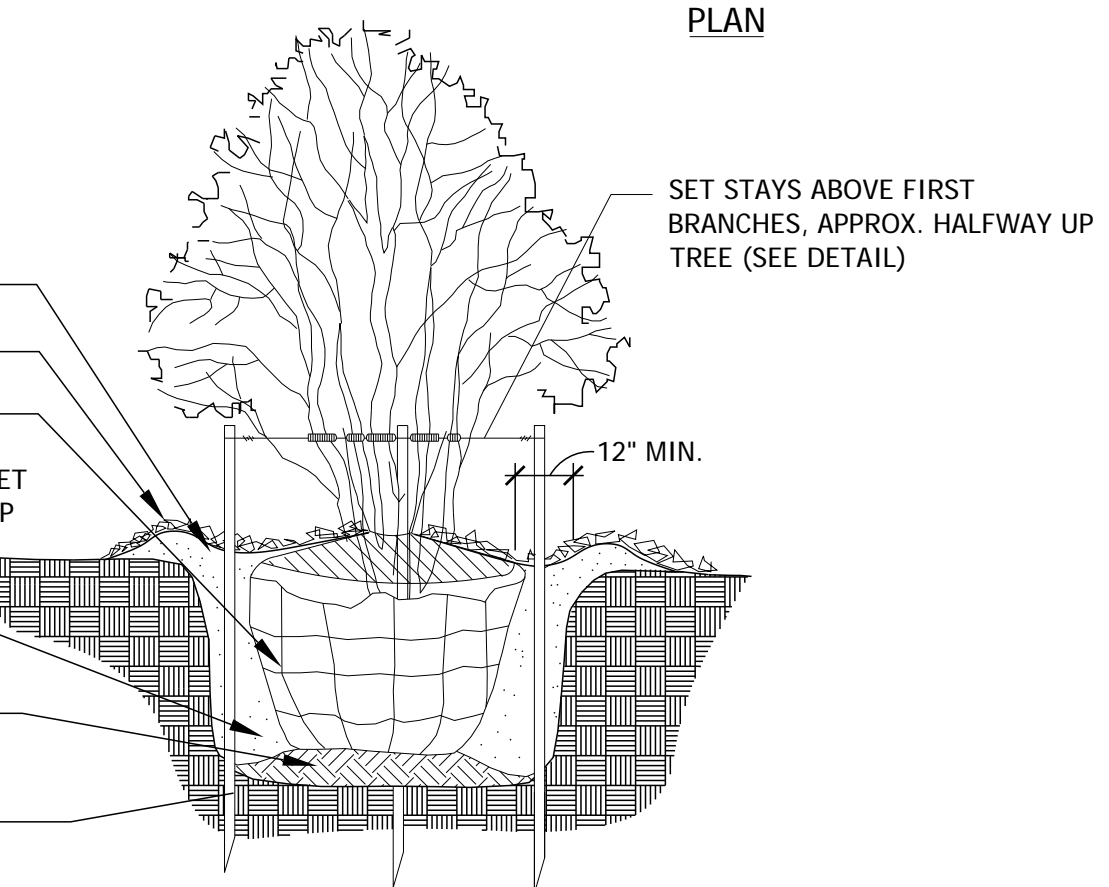
4" OF MULCH

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/3 OF THE ROOTBALL.

PLANT MIXTURE AS SPECIFIED

SCARIFY TO 4" DEPTH AND RECOMPACT

STAKES TO EXTEND 12" BELOW TREE PIT IN UNDISTURBED GROUND



MULTI-STEM TREE PLANTING DETAIL

Not to scale

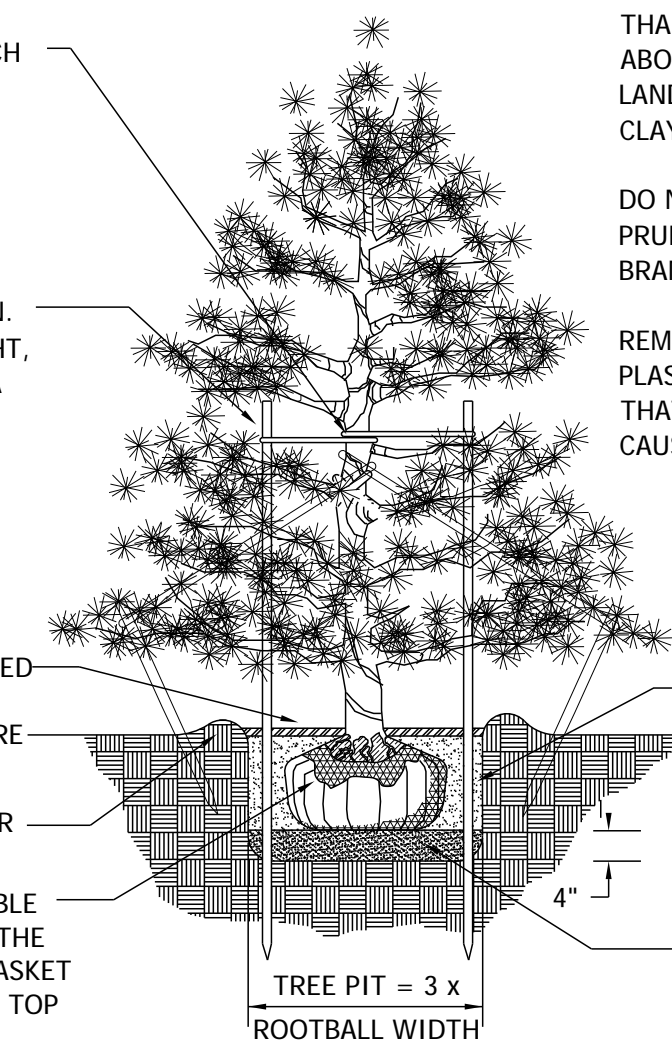
NOTE:
GUY EVERGREEN TREES ABOVE 12' HEIGHT. STAKE EVERGREEN TREE BELOW 12' HEIGHT.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES, MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK.

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF TO 4" DEPTH.

EVERGREEN TREE PLANTING DETAIL

CITY OF NOVI LANDSCAPE NOTES:

- ALL PLANT MATERIALS ARE TO BE INSTALLED IN A SOUND, WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE CURRENT CITY OF NOVI PLANTING REQUIREMENTS
 - ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN MARCH 15th AND NOVEMBER 15th.
 - ALL PLANT MATERIALS ARE TO BE NORTHERN NURSERY GROWN NO.1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL CONFORM TO THE CURRENT AAN STANDARDS FOR NURSERY STOCK. THEY SHALL BE PLANTED ACCORDING TO THE CITY OF NOVI PLANTING DETAILS AND SPECIFICATIONS. THE CITY SHALL HAVE THE RIGHT TO INSPECT THE PLANT MATERIALS PRIOR TO PLANTING AND TO REJECT ANY PLANT MATERIALS DEEMED NOT TO MEET THE STANDARDS OF THE ZONING ORDINANCE.
 - ALL TREES SHALL HAVE A CENTRAL LEADER AND A RADIAL BRANCHING STRUCTURE. PARK GRADE TREES ARE NOT ACCEPTABLE. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B).
 - ANY DECIDUOUS CANOPY TREES WITH BRANCHES THAT MIGHT TEND TO DEVELOP INTO "V" CROTCHES SHALL BE SUBORDINATED SO AS NOT TO BECOME DOMINANT BRANCHES.
 - MULCH SHALL BE NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK FOR ALL PLANTINGS. 4" THICK FOR TREES IN 4-FOOT DIAMETER CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 3" THICK FOR SHRUBS AND SHRUB BEDS AND 2" THICK BARK FOR PERENNIALS.
 - ALL PLANT MATERIAL SHALL BE WARRANTIED FOR TWO (2) FULL YEARS AFTER DATE OF ACCEPTANCE BY THE CITY IF NOVI. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OR THE NEXT APPROPRIATE PLANTING PERIOD WHICH EVER COMES FIRST.
 - ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, INCLUDING WATERING, CULTIVATION, WEED CONTROL AND SOIL ENRICHMENTS AS MAY BE NECESSARY.
 - A MINIMUM OF ONE WEED CONTROL CULTIVATION PER MONTH OCCURRING IN JUNE, JULY AND AUGUST SHALL BE PERFORMED DURING THE TWO-YEAR ESTABLISHMENT PERIOD.
 - ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.
 - ALL TREE WRAP, STAKES, AND GUYS MUST BE REMOVED BY JULY 1ST FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.
 - ALL LANDSCAPE AREAS ARE TO BE MAINTAINED IN HEALTHY GROWING CONDITION FREE OF DEBRIS AND REFUSE AND IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
 - ALL LANDSCAPE AREAS ARE TO BE WATERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM.
 - CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
 - PLANT MATERIALS, EXCEPT SOD, GROUND COVERS, AND CREEPING VINE TYPE PLANTINGS, SHALL NOT BE LOCATED WITHIN FOUR (4) FEET OF THE PROPERTY LINE.
 - ALL TRANSFORMERS ARE TO BE SCREENED ON THREE SIDES (MIN.) IN ACCORDANCE WITH THE CITY OF NOVI ORDINANCE AND SO AS TO NOT CONFLICT WITH DTE RESTRICTIONS. (SEE DETAIL THIS SHEET).
 - ALL BERMS MUST BE PLANTED WITH A COMBINATION OF TREES, SHRUBS, SOD OR OTHER EVERGREEN GROUND COVERS.
 - THE OWNER IS RESPONSIBLE FOR REQUEST OF FINAL INSPECTION AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 2-YEAR GUARANTEE PERIOD.
 - THE PROVIDER OF THE FINANCIAL GUARANTEE FOR THE LANDSCAPE INSTALLATION SHALL BE FULLY RESPONSIBLE FOR COMPLETION OF THE LANDSCAPE INSTALLATION AND MAINTENANCE PER THE APPROVED LANDSCAPE PLAN AND APPLICABLE CITY ORDINANCES.
- THE DETAILS AND NOTES SHOWN ON THIS PAGE ARE STANDARDS. THESE DETAILS ARE NOT ALL INCLUSIVE AND ARE NOT MENT TO SUBSTITUTE FOR ANY ORDINANCE OR CODE REQUIREMENT. FOR COMPLETE LANDSCAPE REQUIREMENTS, SEE THE ZONING ORDINANCE LANDSCAPE SECTION 2509, THE LANDSCAPE DESIGN MANUAL AND THE APPROPRIATE REFERENCES WITHIN THE APPLICABLE ZONING CLASSIFICATION AND ANY OTHER APPLICABLE CODE REQUIREMENTS.



CITY OF NOVI STANDARD LANDSCAPE DETAILS

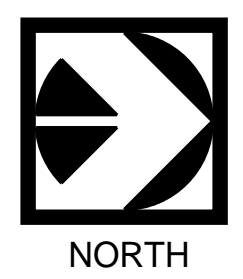
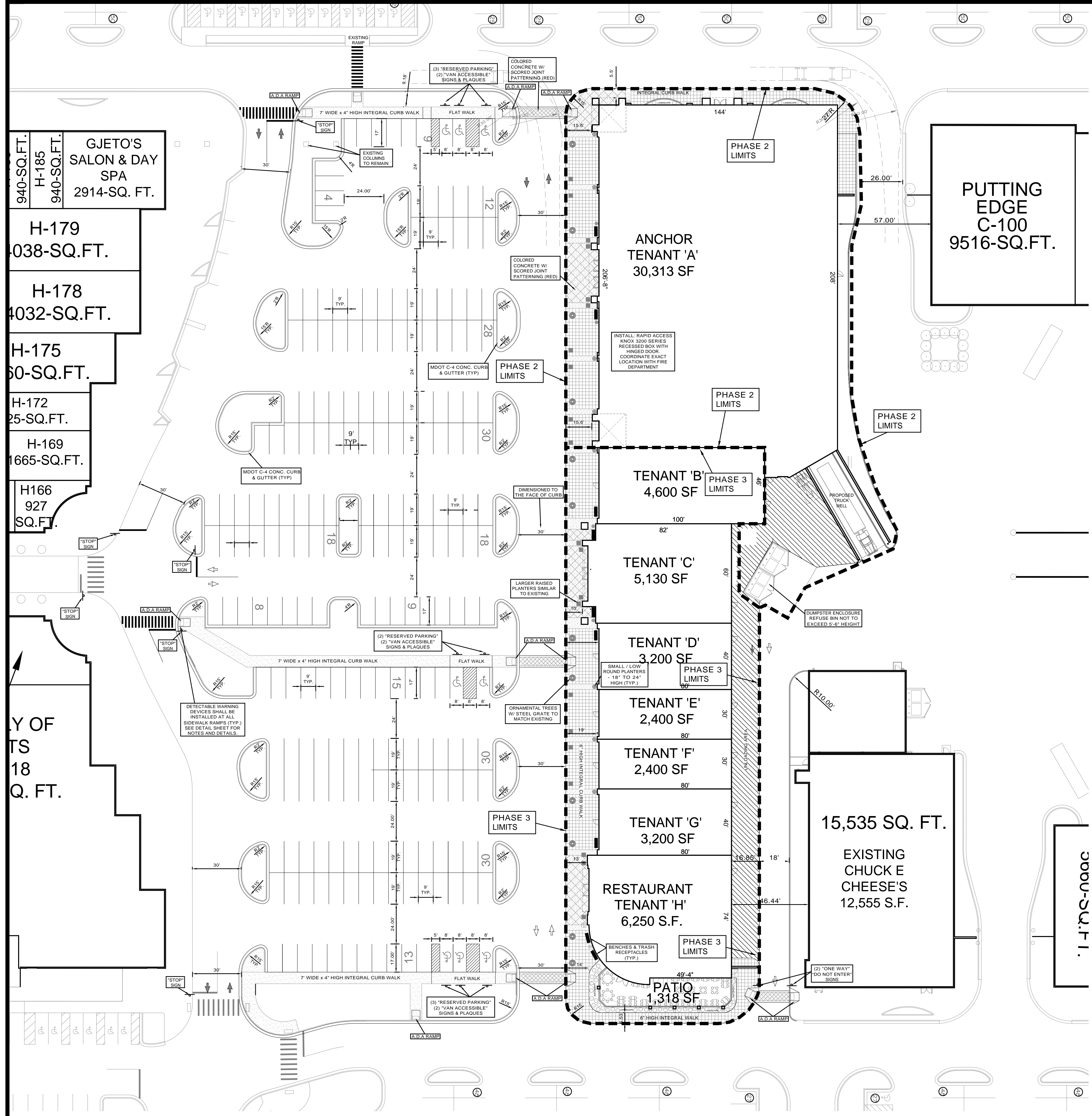
SEAL:

REVISIONS:

SHEET:

LD-1

DATE: 08-01-06



PHASING NOTE:
 PHASE 1 - SHALL CONSIST OF INSTALLATION OF ALL UTILITIES, LIGHTING, PAVING, BUILDING PAD CONSTRUCTION, AND LANDSCAPING WITHIN THE PARKING LOT. TO BE CONSTRUCTED FALL 2012 - SPRING 2013.
 PHASE 2 - SHALL CONSIST OF PROPOSED ANCHOR BUILDING "TENANT A", ADJACENT WALKWAYS, DUMPSTER ENCLOSURE, AND BUILDING LANDSCAPING AREAS ADJACENT TO TENANT A. TO BE CONSTRUCTED WHEN BUILDING SPACE IS LEASED.
 PHASE 3 - SHALL CONSIST OF THE REMAINING BUILDINGS, WALKWAYS, AND BUILDING LANDSCAPE AREAS. TO BE CONSTRUCTED WHEN BUILDING SPACE IS LEASED.

NOTE:
 ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS & SPECIFICATIONS.

Seal & Signature:

49308 WAINSTOCK
 WIXOM, MI 48393
 (P):248-437-9955
 (F):866-690-4307

REVISIONS

CLIENT: SPIGEL PROPERTIES, INC
 PHASING PLAN

These documents are instruments of service in respect to the design and construction of the project. The user of these documents shall be held responsible for the accuracy of the information provided. The user shall be held responsible for the accuracy of the information provided. The user shall be held responsible for the accuracy of the information provided.

SECTION 15
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN

Date: 6-20-12
 Drawn By: MD
 P.E.: MATT DIFFIN
 SCALE: 1 inch = 30 ft.
 Job No.: 120301
 Sheet No.: 1 OF 1

CONTACT INFORMATION

CITY OF NOVI
 CLAY PEARSON
 CITY MANAGER
 PHONE: (248) 347-0420
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

CITY OF NOVI
 PLANNING DIRECTOR
 BARBARA McBETH
 PHONE: (248) 347-0587
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

CITY OF NOVI
 PLANNER
 KRISTEN KAPELANSKI
 PHONE: (248) 347-0475
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

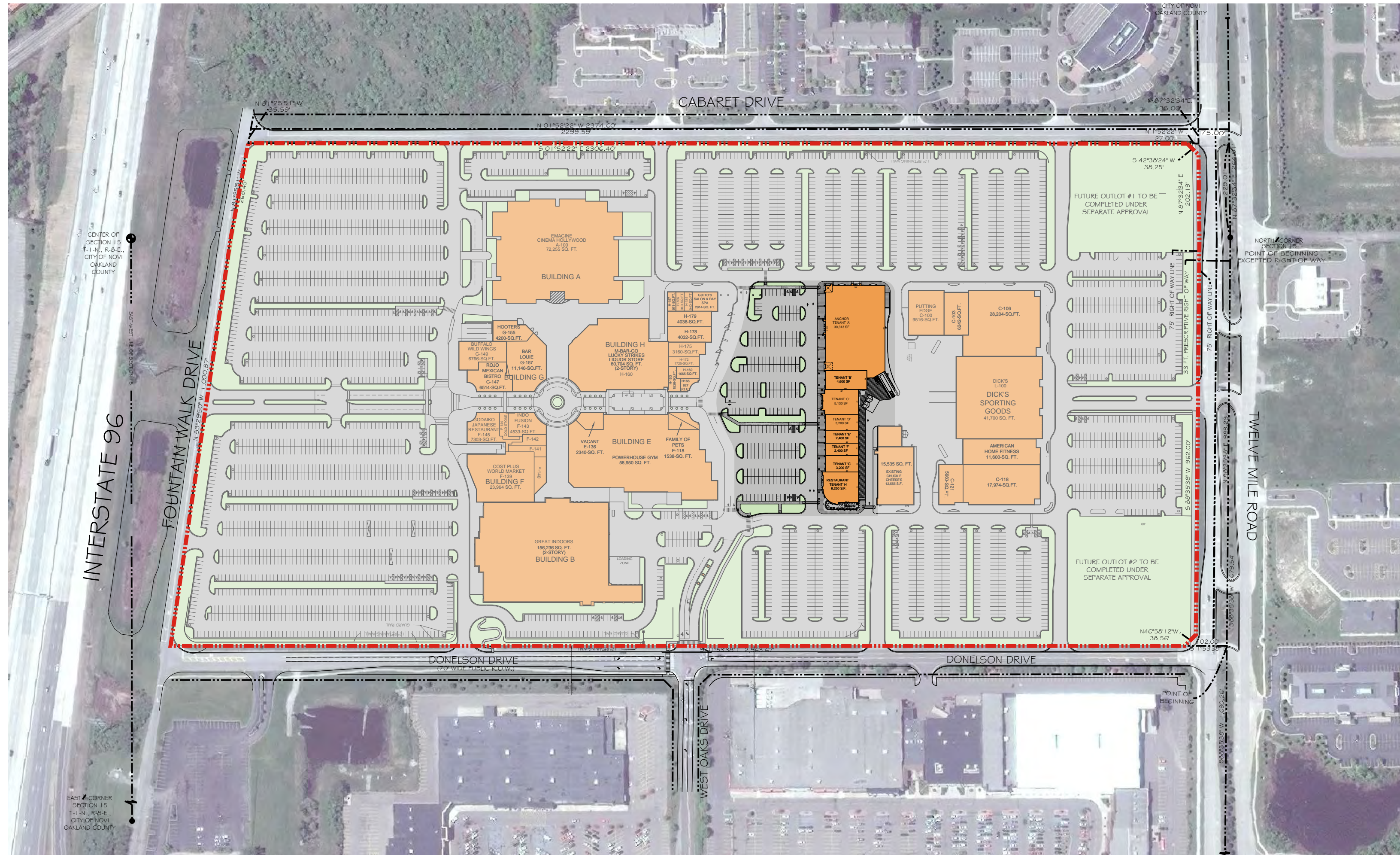
CITY OF NOVI
 MIKE EVANS
 FIRE MARSHALL
 PHONE: (248) 347-0456
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

CITY OF NOVI
 LANDSCAPE ARCHITECT
 DAVID BESCHKE, R.L.A.
 PHONE: (248) 347-0475
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

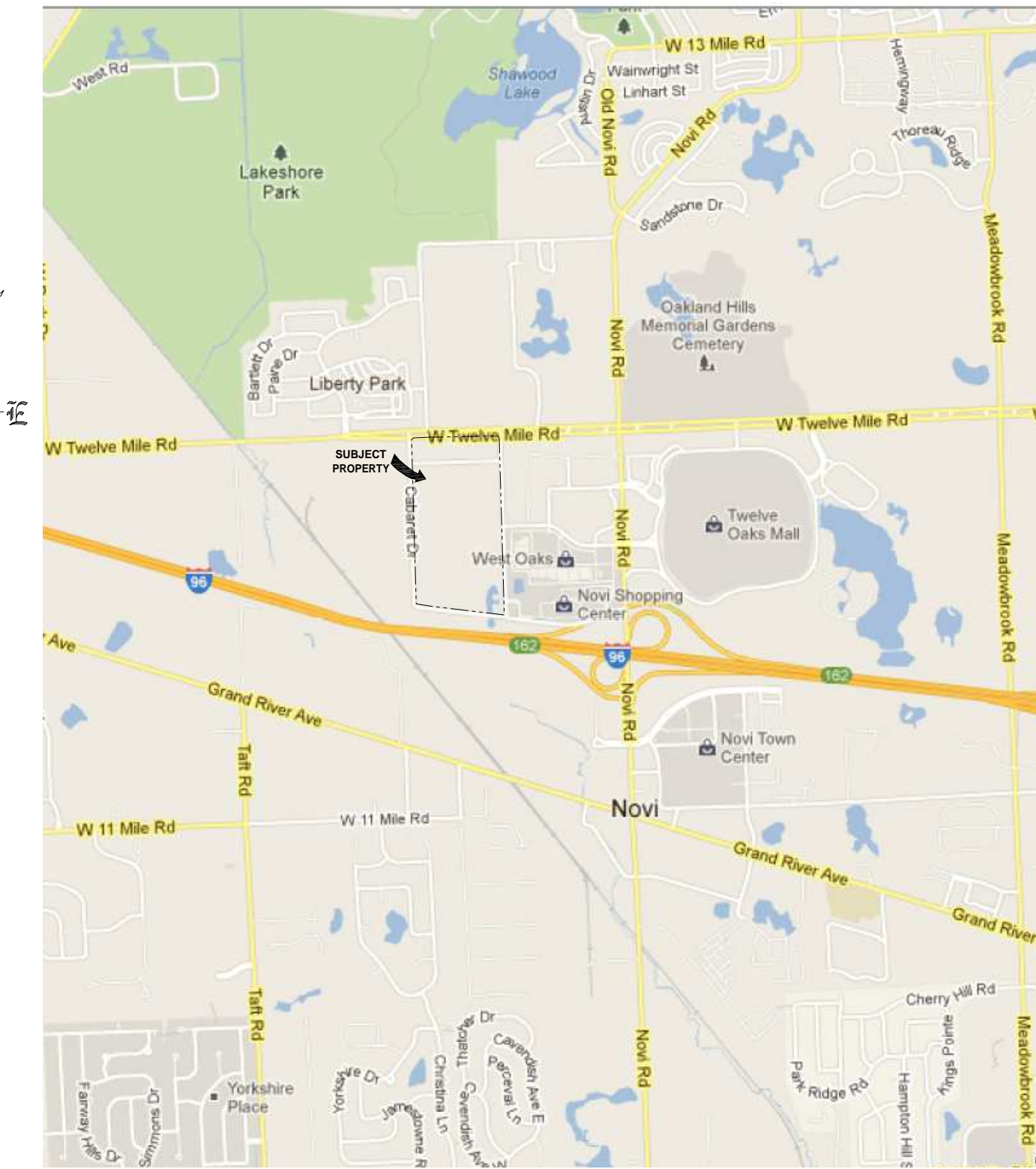
CITY OF NOVI
 CITY ENGINEER
 ADAM M. WAYNE
 PHONE: (248) 347-0454
 45175 WEST 10 MILE ROAD
 NOVI, MI 48375

PRELIMINARY SITE PLAN FOUNTAIN WALK - PHASE 4

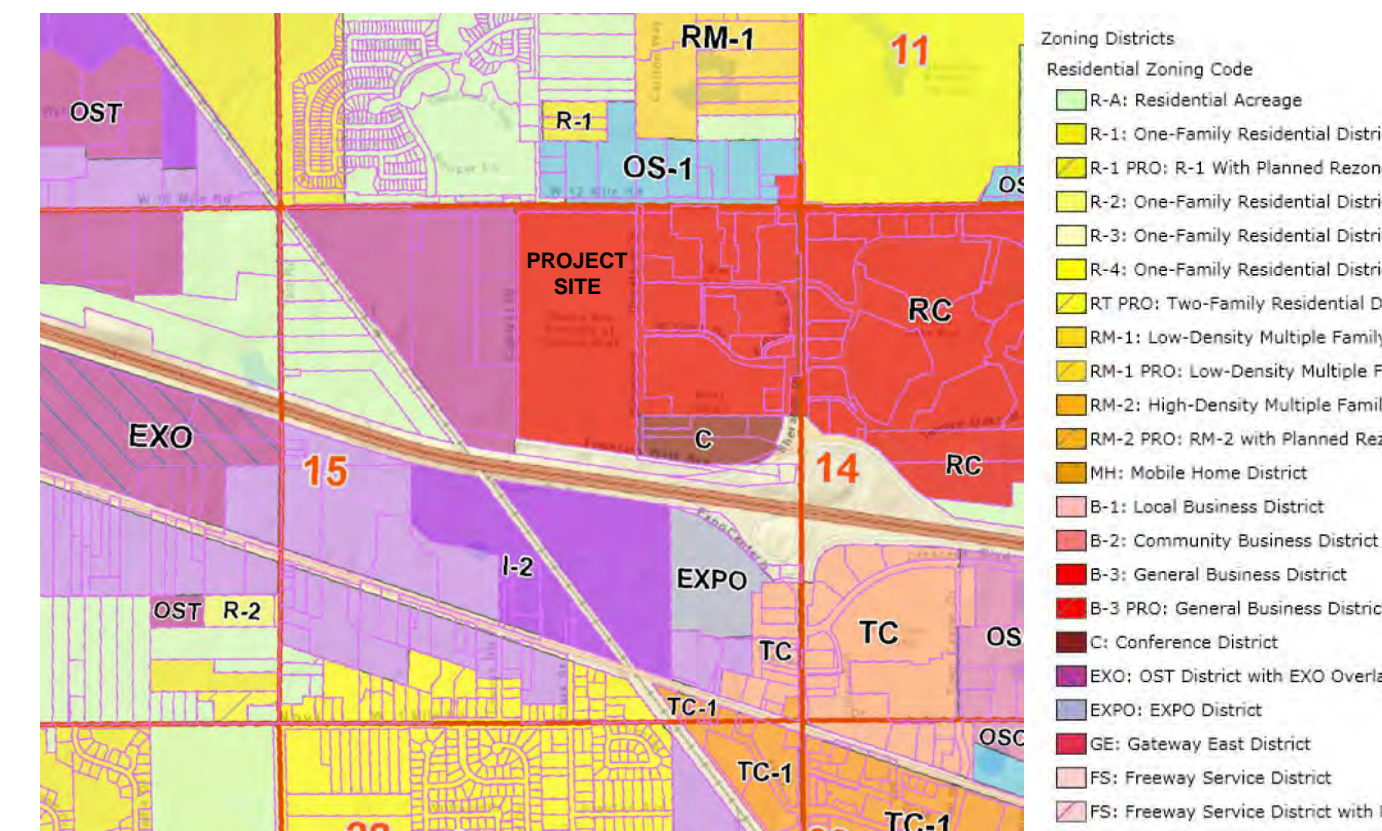
RETAIL \ COMMERCIAL CENTER
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN
 SECTION 15, TOWN 1 NORTH, RANGE 8 EAST



SITE MAP
 1" = 200'



PROJECT LOCATION
 1" = 2000'



ZONING MAP
 NO SCALE

LEGAL DESCRIPTION:
 T1N, R8E, SECTION 15 PART OF NW 1/4 & PART OF NE 1/4 ALL DESCRIBED AS BEGINNING AT A POINT DISTANCE S 88-35-38 W 1690.26 FEET FROM NORTHEAST CORNER OF SECTION 15, THENCE S 01-53-38 E 2563.67 FEET, THENCE N 83-29-50 W 1000.87 FEET, THENCE N 81-25-51 W 268.45 FEET, THENCE N 01-52-22 W 2374.60 FEET, THENCE N 87-32-34 E 264.01 FEET, THENCE N 88-35-38 E 989.28 FEET TO THE POINT OF BEGINNING EXCEPT BEGINNING AT A POINT DISTANCE S 88-35-38 W 2679.54 FEET & S 87-32-34 W 229.01 FEET & S 01-52-22 E 75 FEET FROM NE SECTION CORNER, THENCE S 01-52-22 E 2306.40 FEET, THENCE N 81-25-51 W 35.59 FEET, THENCE N 01-52-22 W 2299.59 FEET, THENCE N 87-32-34 E 35 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT BEGINNING AT N 1/4 CORNER, THENCE N 88-35-38 E 989.28 FEET, THENCE S 01-53-38 E 102 FEET, THENCE N 46-58-12 W 38.57 FEET, THENCE S 88-35-38 W 962 FEET, THENCE S 87-32-34 W 202.19 FEET, THENCE S 42-38-24 W 38.25 FEET, THENCE N 01-52-22 W 27 FEET, THENCE S 87-32-34 W 35 FEET, THENCE N 01-52-22 W 75 FEET, THENCE N 87-32-34 E 264.01 FEET, TO THE POINT OF BEGINNING 67.21 AS-12-00 FR 001 TO 004, 072, 079,084 TO 087,126-011&013 1-14-02 CORR

- NOTE:**
- ALL WORK SHALL CONFORM TO THE CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 - A CITY OF NOVI GRADING PERMIT IS REQUIRED PRIOR TO ANY GRADING ON THE SITE. THIS PERMIT WILL BE ISSUED AT THE PRE-CONSTRUCTION MEETING. ONCE DETERMINED, A GRADING PERMIT FEE MUST BE PAID TO THE CITY TREASURER'S OFFICE.
 - A SOIL EROSION CONTROL PERMIT MUST BE OBTAINED FROM THE CITY OF NOVI. CONTACT SARAH MARCHIONI IN THE BUILDING DEPARTMENT (248-347-0430) FOR FORMS AND INFORMATION.
 - A PERMIT FOR WORK WITHIN THE RIGHT-OF-WAY. MUST BE OBTAINED FROM THE CITY OF NOVI. THE APPLICATION IS AVAILABLE FROM THE CITY ENGINEERING DIVISION AND SHOULD BE FILED AT THE TIME OF FINAL SITE PLAN SUBMITTAL. PLEASE CONTACT THE ENGINEERING DIVISION AT (248-347-0454) FOR FURTHER INFORMATION.
 - A PERMIT FOR SANITARY SEWER CONSTRUCTION MUST BE OBTAINED FROM THE MDEQ. THIS PERMIT APPLICATION MUST BE SUBMITTED THROUGH THE CITY ENGINEER AFTER THE WATER MAIN PLANS HAVE BEEN APPROVED.

WAIVER REQUEST
 1.) THE DEVELOPER WOULD LIKE TO REQUEST A WAIVER OR VARIANCE FROM THE BUILDING LANDSCAPE REQUIREMENTS ON THE BASIS OF MAINTAINING FOOT TRAFFIC AND WINDOW SHOPPING VISIBILITY IN FRONT OF RETAIL SPACES. PLANTERS AND TREE GRATES SIMILAR TO WHAT IS CURRENTLY FOUND THROUGHOUT THE EXISTING DEVELOPMENT ARE PROPOSED. ADDITIONAL LANDSCAPE AREA HAS BEEN PROVIDED WITHIN THE ADJACENT PARKING LOT TO COMPENSATE FOR THE REQUIRED BUILDING LANDSCAPE AREA.

VARIANCE REQUEST
 1.) THE DEVELOPER IS REQUESTING A VARIANCE FROM SECTION 2507 WHICH REQUIRES THE UNLOADING AREA TO BE PROVIDED IN THE REAR YARD OF THE SITE. DUE TO THE CONFIGURATION OF THE PROPOSED BUILDING THE UNLOADING AREA WILL NEED TO BE PROVIDED ALONG THE REAR THE BUILDING (MIDDLE OF THE SITE) AS SHOWN.
 2.) THE DEVELOPER IS REQUESTING A VARIANCE FROM SECTION 2503 FOR THE PROPOSED DUMPSTER WHICH REQUIRES A 10' SETBACK FROM THE BUILDING AND FOR THE DUMPSTER TO BE PLACED IN THE REAR YARD. THE DUMPSTER AT THE REAR OF THE PROPOSED BUILDING (MIDDLE OF THE SITE) AS SHOWN.

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	TOPOGRAPHIC SURVEY
3	OVERALL SITE PLAN
4	SITE PLAN
5	SITE GRADING \ SOIL EROSION PLAN
6	UTILITY PLAN
7	STORM WATER MANAGEMENT PLAN
8	LANDSCAPE PLAN
9	DETAIL SHEET
ARCHITECTURAL PLAN	
A1.0	BUILDING FLOOR PLAN
A2.0	PROPOSED EXTERIOR ELEVATIONS
A2.1	PROPOSED EXTERIOR ELEVATIONS
A3.0	PROPOSED BUILDING RENDERINGS
A3.1	PROPOSED BUILDING RENDERINGS
A3.2	PROPOSED BUILDING RENDERINGS
CITY OF NOVI DETAILS	
1	LANDSCAPE DETAILS
2	SANITARY SEWER DETAILS #1
3	SANITARY SEWER DETAILS #2
4	WATERMAIN DETAILS #1
5	WATERMAIN DETAILS #2
6	STORM SEWER DETAILS
7	PAVEMENT DETAILS

Seal & Signature:

ENGINEER/SURVEYOR

 Civil Engineering • Surveying • Landscaping • Construction Services

Matthew A Diffin, P.E.
 Principal

49308 Wainstock Street
 Wixom, MI 48393
 Phone: (248) 943-8244
 Fax: (866) 690-4307
 E-mail: mdiffin@diffin-umlor.com
 Web: www.diffin-umlor.com

Michigan, Ohio, & Florida

ARCHITECT

 7076 S. Alton Way
 Building A
 Centennial, CO 80112
 (303) 743-0002
CAHEN ARCHITECTURAL GROUP P.C.

Scott A. Boduch, AIA
 Project Manager - Architect

DEVELOPER

 INVESTMENTS • REAL ESTATE

MR. STANLEY SPIGEL
 70 NE LOOP 410, SUITE 185
 SAN ANTONIO, TX 78216
 Ph: 210-349-3636
 Fax: 210-366-9422

OWNER

SUN VALLEY, LTD
 MR. STANLEY SPIGEL
 70 NE LOOP 410, SUITE 185
 SAN ANTONIO, TX 78216
 Ph: 210-349-3636
 Fax: 210-366-9422

49308 WAINSTOCK
 WIXOM, MI 48393
 (P):248-437-9955
 (F):866-690-4307

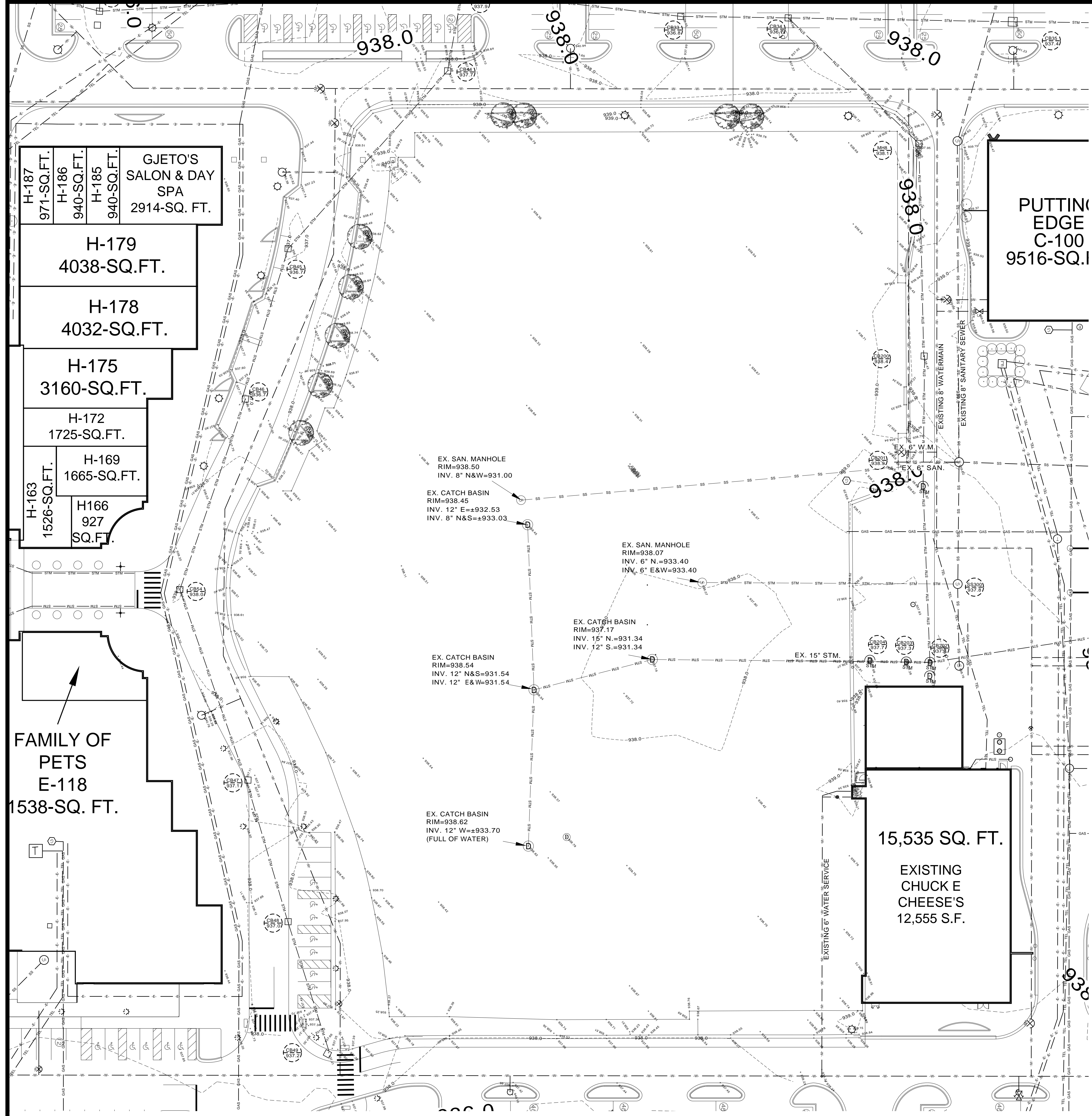
REVISIONS

NO.	DATE	DESCRIPTION

CLIENT: SPIGEL PROPERTIES, INC

COVER SHEET

SECTION 15
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN



STORM SEWER

EX. CB44
RIM=937.7
INV. 18" NW=927.77
INV. 18" SE=927.87

EX. CB34
RIM=936.7
INV. 42" S=925.46
INV. 30" N=926.26
INV. 30" NE=926.36

EX. MH8
RIM=938.1
INV. 30" E&SW=926.95

EX. CB200
RIM=938.4
INV. 30" E&W=927.56

EX. CB201
RIM=938.87
INV. 15" S=928.45
INV. 24" N=929.28
INV. 30" NE=929.95

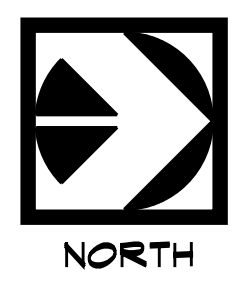
EX. CB202
RIM=937.67
INV. 12" E=929.75
INV. 24" N&S=929.50
INV. 30" W=928.92

EX. CB203
RIM=937.28
INV. 24" N&S=929.61

EX. CB204
RIM=937.68
INV. 24" N=929.84
INV. 15" S=930.20

SANITARY

EX. SS300
RIM=937.8
INV. 8" E&W=931.13
INV. 8" S=931.13 (REMOVE)
INV. 8" SE=931.23



UTILITY LEGEND

- EXISTING ELECTRIC
- PROPOSED ELECTRIC
- EXISTING UTILITY LINE
- EXISTING GAS MAIN
- PROPOSED GAS MAIN
- EXISTING IRRIGATION
- PROPOSED IRRIGATION
- PROPOSED UTILITY LINE
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING TELEPHONE LINES
- PROPOSED TELEPHONE LINES
- EXISTING WATER MAIN
- PROPOSED WATER MAIN

49308 WAINSTOCK
WIXOM, MI 48393
(P):248-437-9955
(F):866-690-4307

REVISIONS

NO.	DATE	DESCRIPTION

CLIENT: SPIGEL PROPERTIES, INC

TOPOGRAPHIC SURVEY

These documents are instruments of service in respect to the specific project. They are prepared by the Consultant (DCC) for the specific purposes intended and will be at Users sole risk and without liability or hold harmless DCC from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or ratification shall be agreed upon by User and DCC.

SECTION 15
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

Date: 4-24-12
Drawn By: MD
P.E.: MATT DIFFIN
SCALE: 1 inch = 30 ft.
Job No.: 120301
Sheet No.: 2 OF 9

Seal & Signature:

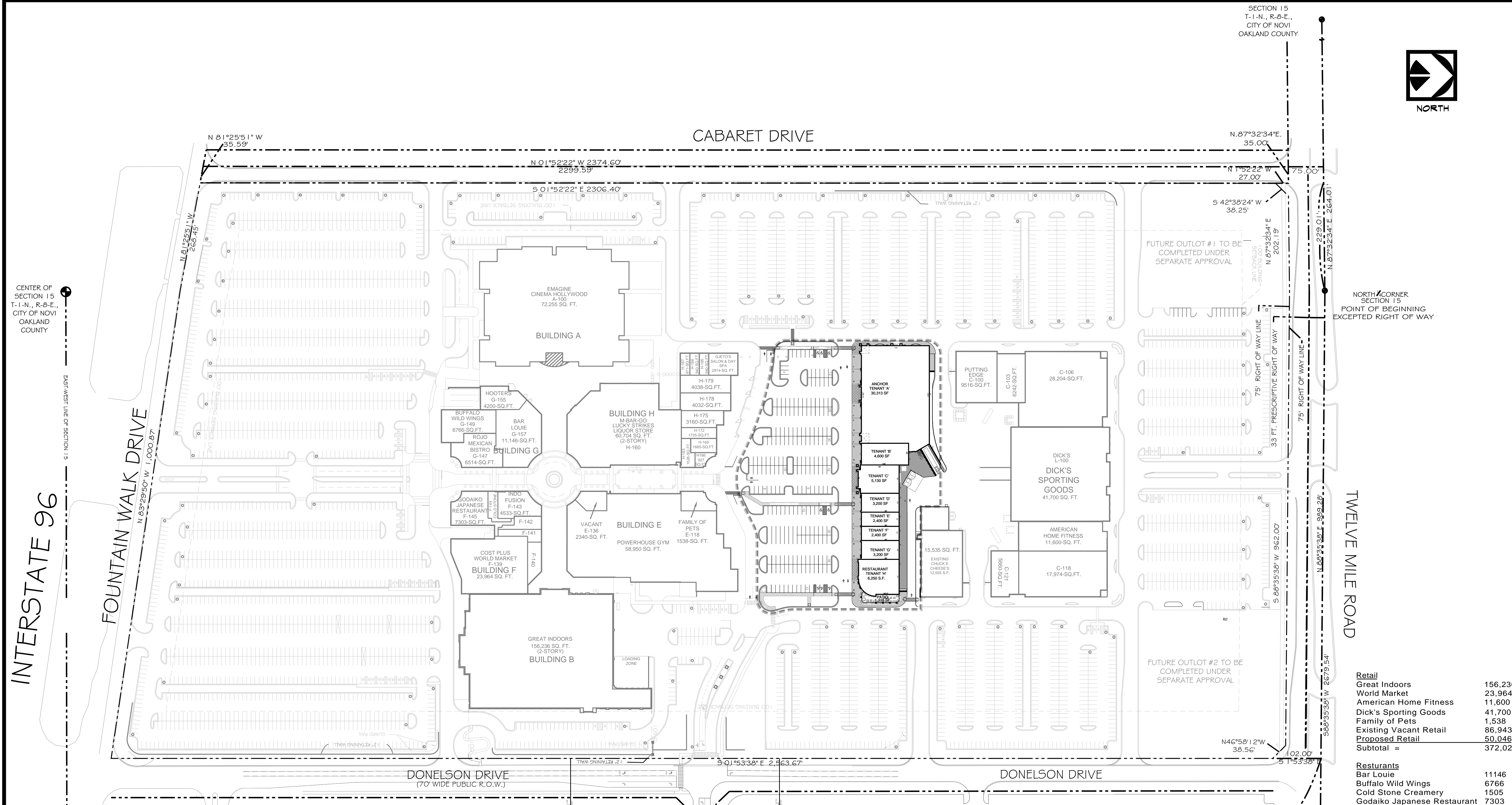
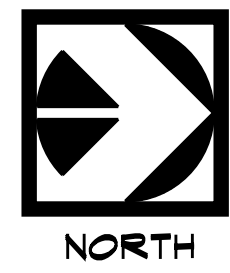
REVISIONS

CLIENT: SPIGEL PROPERTIES, INC

OVERALL
SITE PLAN

These drawings are instruments of service in which the Engineer has provided professional services in accordance with the terms of the contract and any amendments thereto. The Engineer is not responsible for the accuracy of the information provided to the Engineer by the client or for the accuracy of the information provided to the client by the Engineer. The Engineer is not responsible for the accuracy of the information provided to the client by the client or for the accuracy of the information provided to the client by the Engineer. The Engineer is not responsible for the accuracy of the information provided to the client by the client or for the accuracy of the information provided to the client by the Engineer.

SECTION 15
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN



SITE DATA

EXISTING ZONING	RC
GROSS SITE AREA	67.21 ACRES
EXISTING WETLANDS	NONE
EXISTING WOODLANDS	NONE
EXISTING BUILDING AREA	579,256 SQ. FT.
PROPOSED BUILDING AREA	57,493 SQ. FT.
MAXIMUM HEIGHT OF BUILDING	45 FEET
EXISTING PAVEMENT AREA	
PROPOSED PAVEMENT AREA	±68,132 SQ. FT.
BUILDING SETBACKS	REQUIRED PROVIDED
NORTH SETBACK	100' ±378'
WEST SETBACK PROP. LINE	100' ±100'
EAST SETBACK PROP. LINE	100' ±134'
SOUTH SETBACK PROP. LINE	100' ±584'
PARKING SETBACKS	REQUIRED PROVIDED
NORTH SETBACK	20' ±38'
WEST SETBACK PROP. LINE	10' ±20'
EAST SETBACK PROP. LINE	20' ±20'
SOUTH SETBACK PROP. LINE	20' ±30'

REQUIRED PARKING	
THEATER:	
1 SPACE PER 3.4 SEATS PLUS 1 SPACE PER EVERY 2 EMPLOYEES	
3377 SEATS/3.4 SEATS + 30 EMPLOYEES/2 = 1008 SPACES	
RESTURANTS:	
1 SPACE PER 70-SFT G.F.A.	
56,246-SFT/ 70-SFT = 891 SPACES	
OUTDOOR SEATING 2207-SFT/70-SFT = 32 SPACES	
RETAIL:	
1 SPACE PER 250-SFT G.F.A.	
500,801-SFT/250-SFT = 2003 SPACES	
TOTAL = 3934-SPACES	
PROVIDED PARKING	
HANDI CAP SPACES	72
STANDARD SPACES	4005
TOTAL SPACES	4077-SPACES

LEGAL DESCRIPTION:
T1N, R8E, SECTION 15 PART OF NW 1/4 & PART OF NE 1/4 ALL DESCRIBED AS BEGINNING AT A POINT DISTANCE S 88-35-38 W 1690.26 FEET FROM NORTHEAST CORNER OF SECTION 15, THENCE S 01-53-38 E 2563.67 FEET, THENCE N 83-29-50 W 1000.87 FEET, THENCE N 81-25-51 W 268.45 FEET, THENCE N 01-52-22 W 2374.60 FEET, THENCE N 87-32-34 E 264.01 FEET, THENCE N 88-35-38 E 989.28 FEET TO THE POINT OF BEGINNING EXCEPT BEGINNING AT A POINT DISTANCE S 88-35-38 W 2679.54 FEET & S 87-32-34 W 229.01 FEET & S 01-52-22 E 75 FEET FROM NE SECTION CORNER, THENCE S 01-52-22 E 2306.40 FEET, THENCE N 81-25-51 W 35.59 FEET, THENCE N 01-52-22 W 2299.59 FEET, THENCE N 87-32-34 E 35 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT BEGINNING AT N 1/4 CORNER, THENCE N 88-35-38 E 989.28 FEET, THENCE S 01-53-38 E 102 FEET, THENCE N 46-58-12 W 38.57 FEET, THENCE S 88-35-38 W 962 FEET, THENCE S 87-32-34 W 202.19 FEET, THENCE S 42-38-24 W 38.25 FEET, THENCE N 01-52-22 W 27 FEET, THENCE S 87-32-34 W 35 FEET, THENCE N 01-52-22 W 75 FEET, THENCE N 87-32-34 E 264.01 FEET, TO THE POINT OF BEGINNING 67.21 A5-12-00 FR 001 TO 004, 072, 079,084 TO 087,126-011&013 1-14-02 CORR

Retail	
Great Indoors	156,236
World Market	23,964
American Home Fitness	11,600
Dick's Sporting Goods	41,700
Family of Pets	1,538
Existing Vacant Retail	86,943
Proposed Retail	50,046
Subtotal =	372,027
Restaurants	
Bar Louie	11146
Buffalo Wild Wings	6766
Cold Stone Creamery	1505
Godaiko Japanese Restaurant	7303
Hooters	4200
Indo Fusion	4533
Rojo Mexican Bistro	6514
M-Bar-Go	60,704
Lucky Strike	
Liquor Store	
Proposed w/ Outdoor Seating	8325
Subtotal =	110,996
Entertainment	
Chuck E. Cheese's	15535
Imagine Novi Theatre	72255
Gjeto's Salon & Day Spa	2914
Powerhouse Gym	58950
Putting Edge Fun Centers	9516
Subtotal =	159,170
42% > 20%	

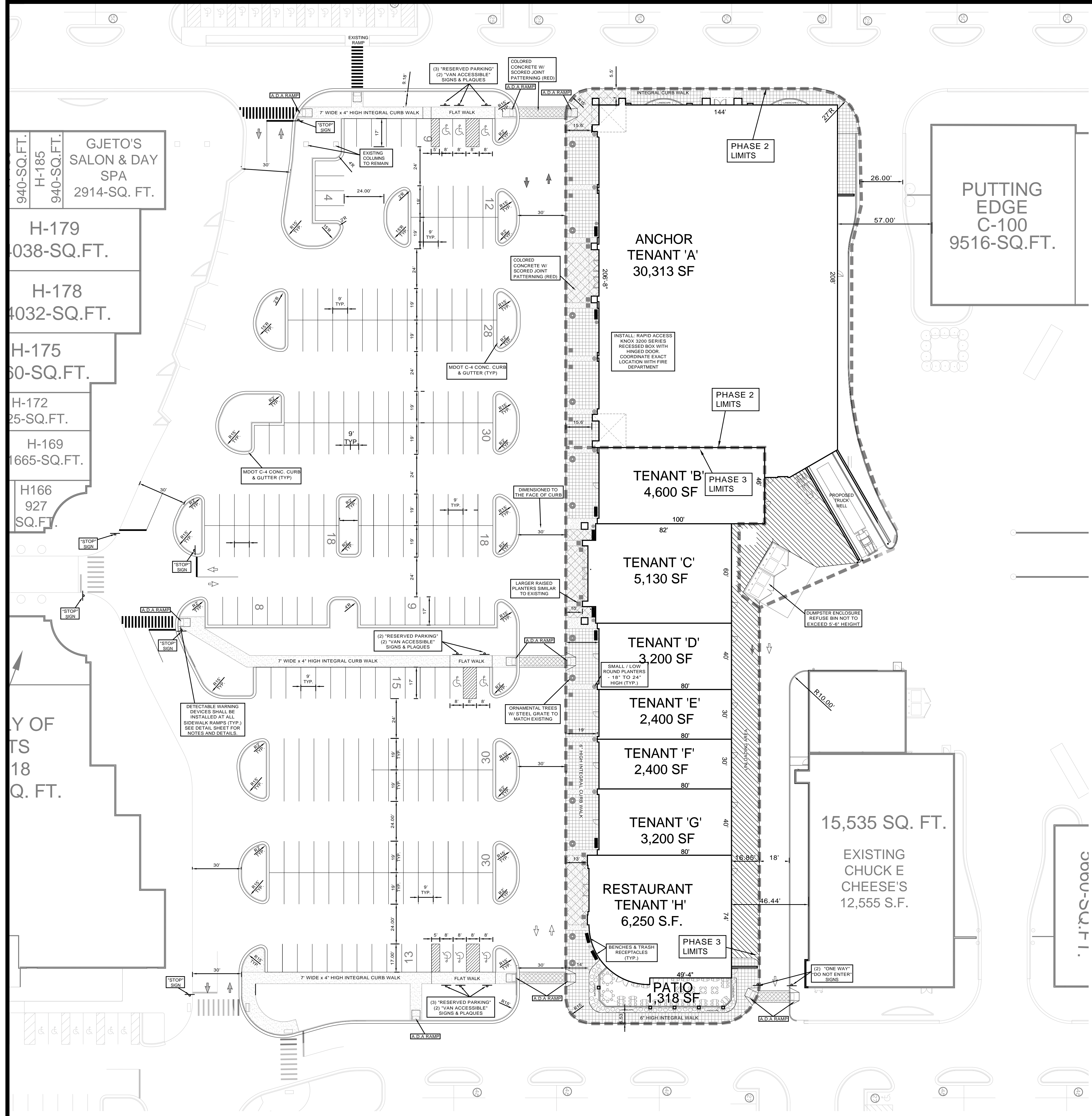
Seal & Signature:

NORTHEAST CORNER
SECTION 15
T-1-N., R-8-E.,
CITY OF NOVI
OAKLAND COUNTY

CENTER OF SECTION 15
T-1-N., R-8-E.,
CITY OF NOVI
OAKLAND COUNTY

INTERSTATE 96

NORTH CORNER
SECTION 15
T-1-N., R-8-E.,
CITY OF NOVI
OAKLAND COUNTY



SITE DATA

EXISTING ZONING RC
 GROSS SITE AREA ±5.0 ACRES
 PROPOSED BUILDING AREA 57,493 SQ. FT.
 MAXIMUM HEIGHT OF BUILDING 45 FEET
 PROVIDED PAVEMENT AREA ±122599 SQ. FT.
 TAX ID# 22-15-200-100

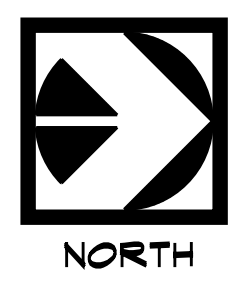
REQUIRED PARKING
 RESTAURANTS:
 1 SPACE PER 70-SFT G.F.A.
 7568-SFT/70-SFT = 108 SPACES

RETAIL:
 1 SPACE PER 250-SFT G.F.A.
 51243-SFT/250-SFT = 205 SPACES

TOTAL = 313 SPACES

PROVIDED PARKING
 HANDI CAP SPACES 8
 STANDARD SPACES 215
 TOTAL SPACES 224-SPACES

PHASING NOTE:
 UTILITIES, LIGHTING, AND PAVING SHALL BE CONSTRUCTED AS PART OF PHASE 1 DURING SUMMER 2012. PROPOSED ANCHOR BUILDING "TENANT A", ADJACENT WALKWAYS, AND DUMPSTER AREA SHALL BE CONSTRUCTED AS PART OF PHASE 2 2013. REMAINING BUILDINGS AND WALKWAYS WITHIN TWO YEARS OF FINAL SITE PLAN APPROVAL.



NOTE: ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

NOTE: ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 26125C026P DATED SEPTEMBER 29, 2006 THE SUBJECT PARCEL IS LOCATED IN ZONE "X" WHICH IS NOT A DESIGNATED AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SIGN TABLE		
SIGN #	SIGN TYPE	REQUIRED
R1-1	STOP	6
R5-1	DO NOT ENTER	2
R3-5R	RIGHT TURN ONLY	-
R6-1R	ONE WAY	2
R7-8	RESERVED PARKING	8
R7-8A	VAN ACCESSIBLE	6
R8-3	NO PARKING	-

NOTE: ALL SIGNS WILL COMPLY WITH CURRENT MMUTCD STANDARDS.

Exterior Lighting

- All outdoor lighting in all Use Districts used to light the general area of a specific site shall be shielded to reduce glare and shall be so arranged as to reflect lights away from all adjacent residential districts or adjacent residences.
- All light fixtures must be mounted to a height of 25 ft. or less. The entire site to be limited to light poles with a maximum height of 25 ft.
- All outdoor lighting in all Use Districts shall be directed toward and confined to the ground areas of lawns or parking lots.
- All lighting in nonresidential districts used for the external illumination of buildings, so as to feature said buildings, shall be placed and shielded so as not to interfere with the vision of persons on adjacent highways or adjacent property.
- Illumination of signs shall be directed or shaded downward so as not to interfere with the vision of persons on the adjacent highways or adjacent property.
- Artificial light shall be maintained in a manner so as not to constitute a hazard or nuisance.

GENERAL NOTES:

ALL LIGHTS SHALL BE SQUARE, ARM MOUNTED, CUT-OFF TYPE LUMINAIRE W/250 WATT METAL HALIDE LAMP WITH VERTICAL REFLECTOR. ALL LIGHTING SHALL BE DIRECTED AWAY FROM ADJOINING PARCELS (TYP.).

REFER TO UTILITY PLANS AND PROFILES FOR STORM SEWER, SANITARY SEWER, WATERMANS, AND BUILDING CONNECTION LOCATIONS, SIZES, AND INVERTS.

CONTRACTOR TO COMPLY WITH CITY OF NOVI AND OAKLAND COUNTY ROAD COMMISSION REQUIREMENTS FOR ALL WORK PERFORMED WITHIN WIXOM ROAD RIGHT OF WAY. CONTRACTOR TO OBTAIN PERMIT FROM THE CITY OF NOVI PUBLIC SERVICE DEPT AND THE OAKLAND COUNTY ROAD COMMISSION PRIOR TO THE START OF CONSTRUCTION.

REFER LANDSCAPE ARCHITECTS PLAN FOR ALL PLANTINGS, BERMING, LANDSCAPE DETAILS, AND MATERIALS (TYP.).

ALL PARKING AREAS AND LANDSCAPE ISLANDS TO HAVE CURB AND GUTTER (TYP.) UNLESS OTHERWISE NOTED.

GENERAL CONTRACTOR TO COORDINATE AND INSTALL UNDERGROUND ELECTRICAL CONDUIT TO PARKING LOT UTILITIES, AND DIRECTIONAL SIGNS. GENERAL CONTRACTOR TO PROVIDE A UNIT PRICE FOR INSTALLATION OF IRRIGATION SLEEVES. EXACT QUANTITY AND LOCATION TO BE DETERMINED PRIOR TO THE START OF CONSTRUCTION. WITNESS THE LOCATION OF EACH SLEEVE.

DEVELOPER TO INSTALL FIRE LANE SIGN AS NECESSARY PER THE CITY OF NOVI FIRE DEPARTMENTS REQUIREMENTS. CONTRACTOR SHALL COORDINATE INSTALLATION OF SIGNS WITH THE CITY'S FIRE MARSHAL (TYP.).

ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

PAVEMENT STRIPING SHALL BE MDOT FAST DRY PAVEMENT MARKING. ALL ARROWS, STOP BARS, AND LANE LINES (4" WIDE SINGLE LINE) BETWEEN TURN LANES AND LANES IN THE SAME DIRECTION OF TRAVEL SHALL BE WHITE. LINES SEPARATING OPPOSITE DIRECTIONS OF TRAFFIC SHALL BE 4" WIDE DOUBLE YELLOW. BARRIER-FREE SPACE MARKINGS AND HATCHING SHOULD BE BLUE AND ALL OTHER MARKING MAY BE EITHER WHITE OR YELLOW. ALL PEDESTRIAN CROSS WALKS SHALL BE STRIPED WITH 12" WIDE WHITE DIAGONAL LINES AT 45° ANGLES SPACED 24" APART (TYP.).

NOTE:
 ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS & SPECIFICATIONS.

49308 WAINSTOCK WIXOM, MI 48393
 (P):248-437-9955
 (F):866-690-4307

REVISIONS

NO.	DESCRIPTION

CLIENT: SPIGEL PROPERTIES, INC

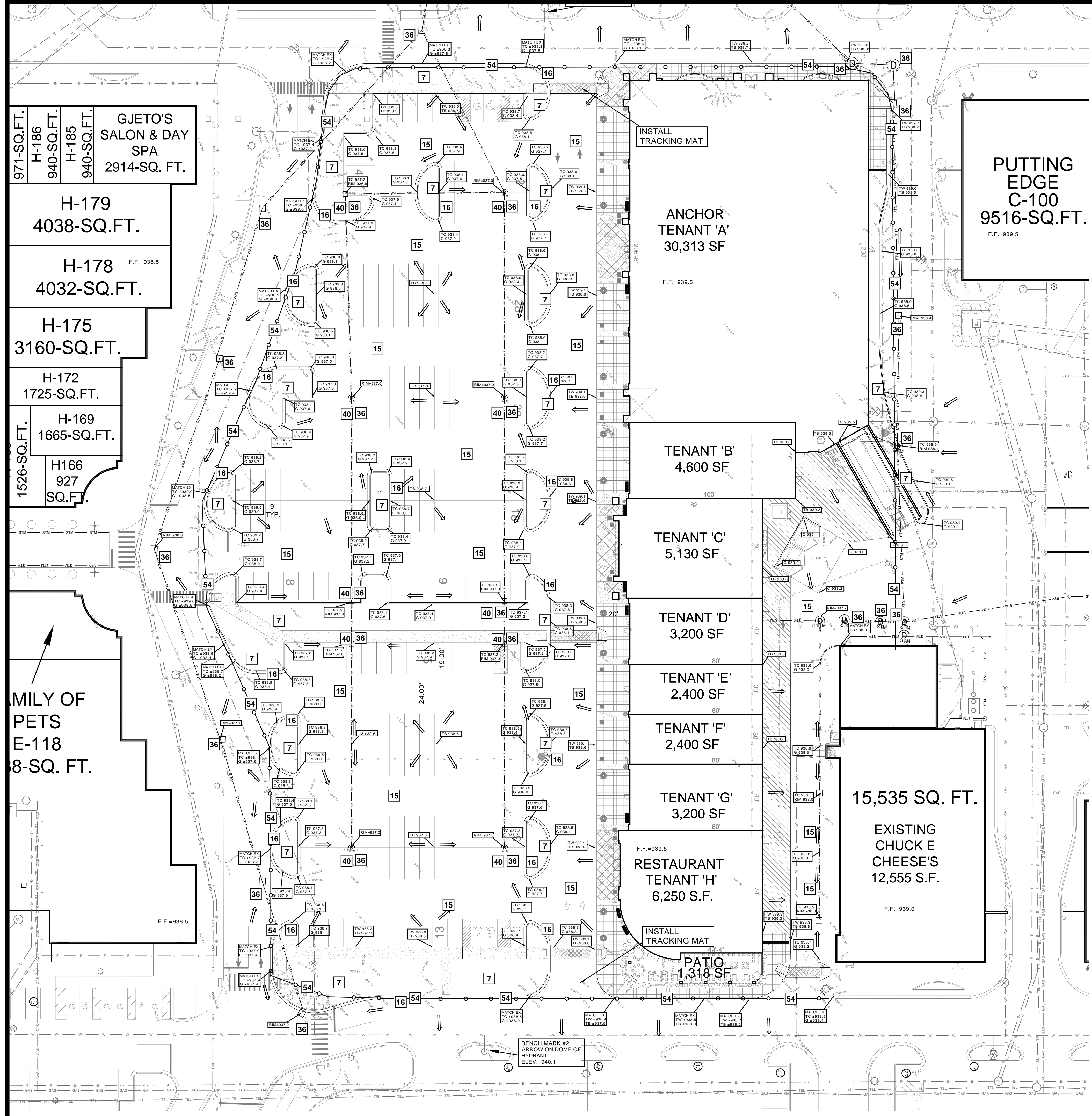
SITE PLAN

These documents are instruments of service in respect to the legal and professional services provided by Diffin-Umlor & Associates, Inc. (DUA) to the Client. DUA and its Consultants (CDC) for the specific purposes intended will be at Users sole risk and without liability or obligation to DUA or its Consultants. DUA and its Consultants shall not be held harmless DDC from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or confirmation shall be agreed upon by User and DDC.

SECTION 15
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN

Date: 4-24-12
 Drawn By: MD
 P.E.: MATT DIFFIN
 SCALE: 1 inch = 30 ft.
 Job No.: 120301
 Sheet No.: 4 OF 9

Seal & Signature:



LEGEND

- G GUTTER
- EE EXISTING ELEVATION
- WT TOP OF WALL
- WB BOTTOM OF WALL
- TB TOP OF BIT
- TC TOP OF CURB
- TG TOP OF GRAVEL
- TW TOP OF WALK
- SD SWALE DITCH
- BD BOTTOM DITCH
- BT TOP OF BERM
- FF FINISH FLOOR
- 650 PROP. MAJOR CONTOUR
- 651 PROP. MINOR CONTOUR
- 338.67 EXISTING SPOT ELEVATION
- SILT FENCE

EROSION CONTROL MEASURES

7	HYDRO-SEEDING	EFFECTIVE ON LARGE AREAS READY TO RECEIVE SOIL. PROVIDES IMMEDIATE PROTECTION UNTIL GRASS OR PLOTUS IS ESTABLISHED. IRREGULAR SURFACE WILL HELP SLOPE VELOCITY.
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT SHOULD BE COVERED WITH A PREPARED DRAINAGE SYSTEM OR PREPARED DRAINAGE MAT.
16	CURB AND GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING THE PAVED SURFACE. ADVISORY TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGE MAT.
36	CATCH-BASIN CLEAN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE FILTER CLOTH OVER INLET.
40	SWALE	EASY TO MAINTAIN. QUALITY OF MATERIALS EXPANDED AS NEEDED.
49	GRASS STRIP	MINIMUM WIDTH OF STRIP: 4 FT. ROCK, LUMBER, MASONRY OR SAND BAGS.
54	PILE PILING	USING BIODEGRADABLE PILING AND POSTS ON POLES. MUST BE CONSTRUCTED AND LOCATED AS NECESSARY.

CONSTRUCTION SEQUENCE

JULY 2012 - MAY 2013

PRIOR TO CONSTRUCTION
IDENTIFY CONSTRUCTION LIMITS
INSTALL SILT FENCE

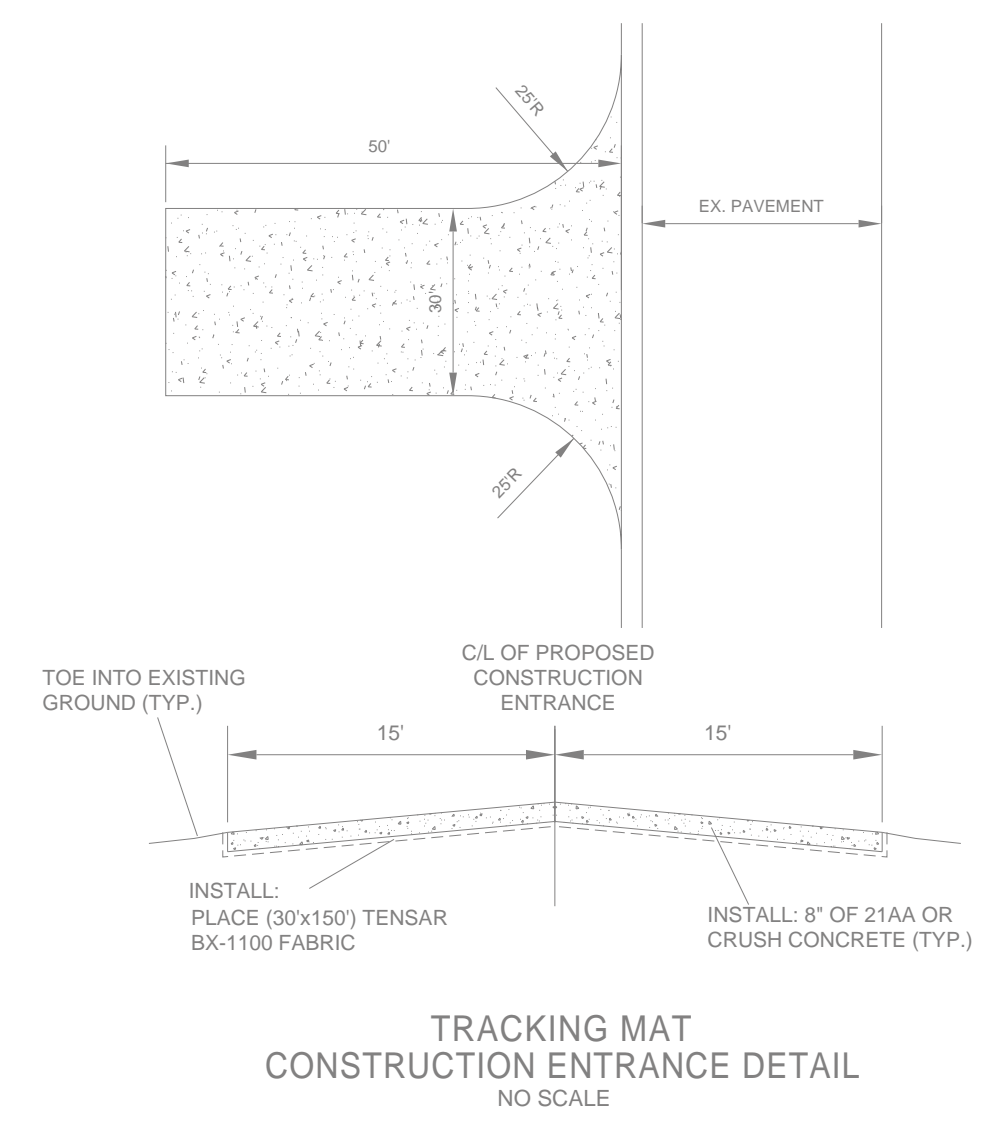
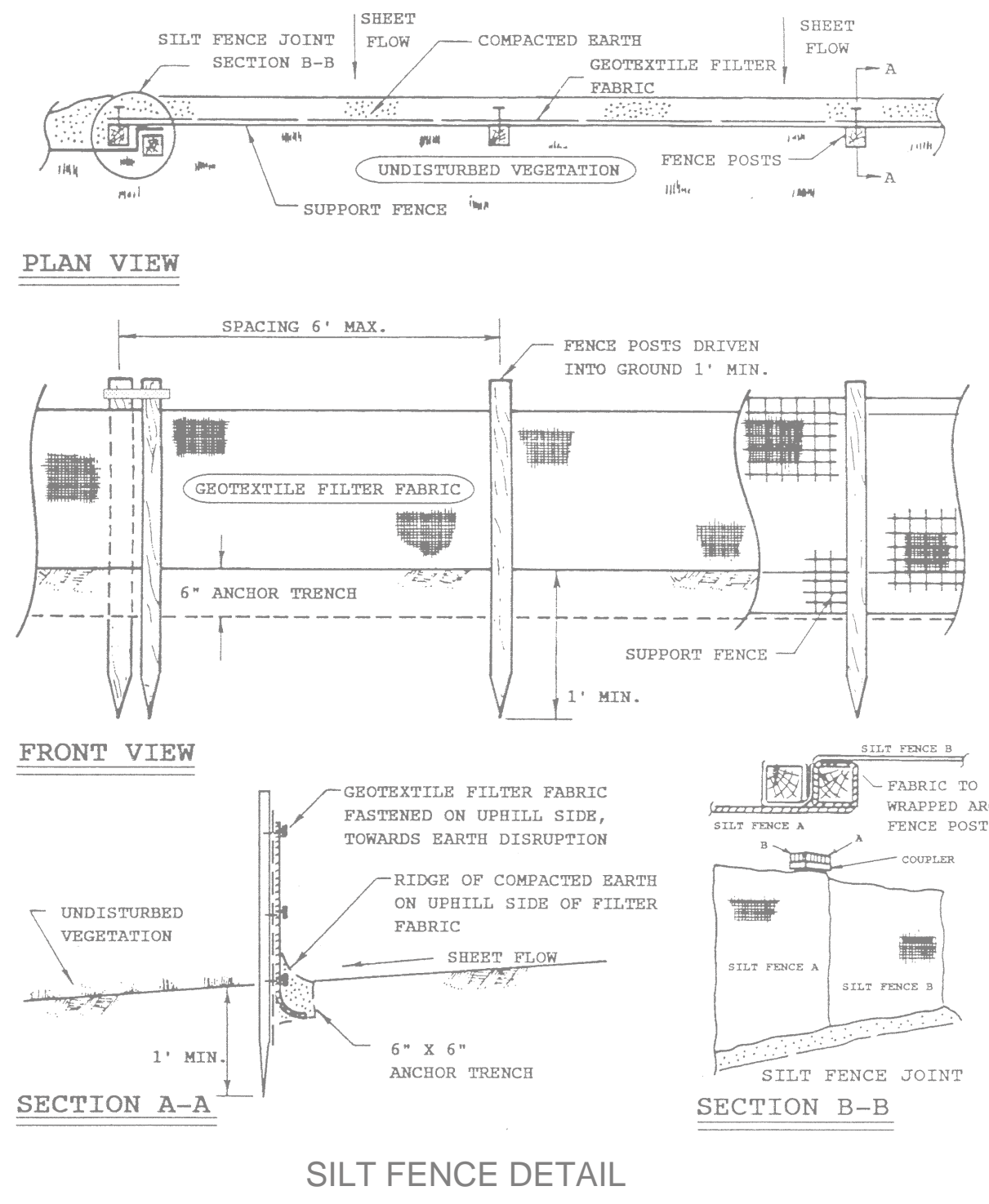
DEMOLITION
SAWCUT AND REMOVE CURBING
ASPHALT STRIP VEGETATION AND TOPSOIL
CONSTRUCT STONE ACCESS DRIVE
MAINTAIN CONTROL MEASURES

CONSTRUCT UTILITIES, BUILDING
PAVE LOT, CONSTRUCT CURBING
FINAL GRADING, INSTALL SIDEWALK
SITE RESTORATION AND LANDSCAPING

AFTER DISTURBED AREAS HAVE STABILIZED

SOIL EROSION CONTROL MEASURES
IDENTIFY CONSTRUCTION LIMITS
INSTALL SILT FENCE
MAINTAIN CONTROL MEASURES
REMOVE STONE ACCESS DRIVE
MAINTAIN OTHER CONTROL MEASURES
MAINTAIN CONTROL MEASURES
TOPSOIL AND SOIL
INSTALL LANDSCAPING
MAINTAIN CONTROL MEASURES
REMOVE SILT FENCE
REMOVE INLET FILTERS ON CATCH BASINS

- VIOLATIONS/CITATIONS**
- Routine inspections will be performed on your project by the City of Novi or its agent once a week.
 - Upon completion of inspection, the site is found not in compliance with the City of Novi's Soil Erosion and Sedimentation Control Ordinance, then the Permit Holder/Signer will be issued, by hand, mail or fax, a "Notice of Erosion Control Delinquency" letter, that will include all current and pertinent non-compliance items. The site and/or development will have a pre-determined amount of time, from the date of the "notice" to rectify these items.
 - If all of the items have not been addressed after the elapsed time specified, the Permit Holder/Signer will receive a "Non-Compliance" letter, which will include a "Notice to Show Cause."
 - Upon receipt of the "Non-Compliance" letter and "Notice to Show Cause," the Permit Holder/Signer will attend a Show Cause Hearing as well as pay a re-inspection fee in the amount of \$250.00 to the City of Novi for additional inspections, hearings and report follow-up. The before mentioned activities must take place within 24 hours upon receipt of the letter. After the hearing, the project/development may be issued a "stop work" order.
 - If a citation is issued to the Permit Holder/Signer after the Show Cause Hearing, an additional \$400.00 will be paid to the City of Novi, for follow-up inspections, meetings and other expenses incurred. SILT FENCE



NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS & SPECIFICATIONS.

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WIXOM, MI 48393
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REVISIONS

NO.	DESCRIPTION

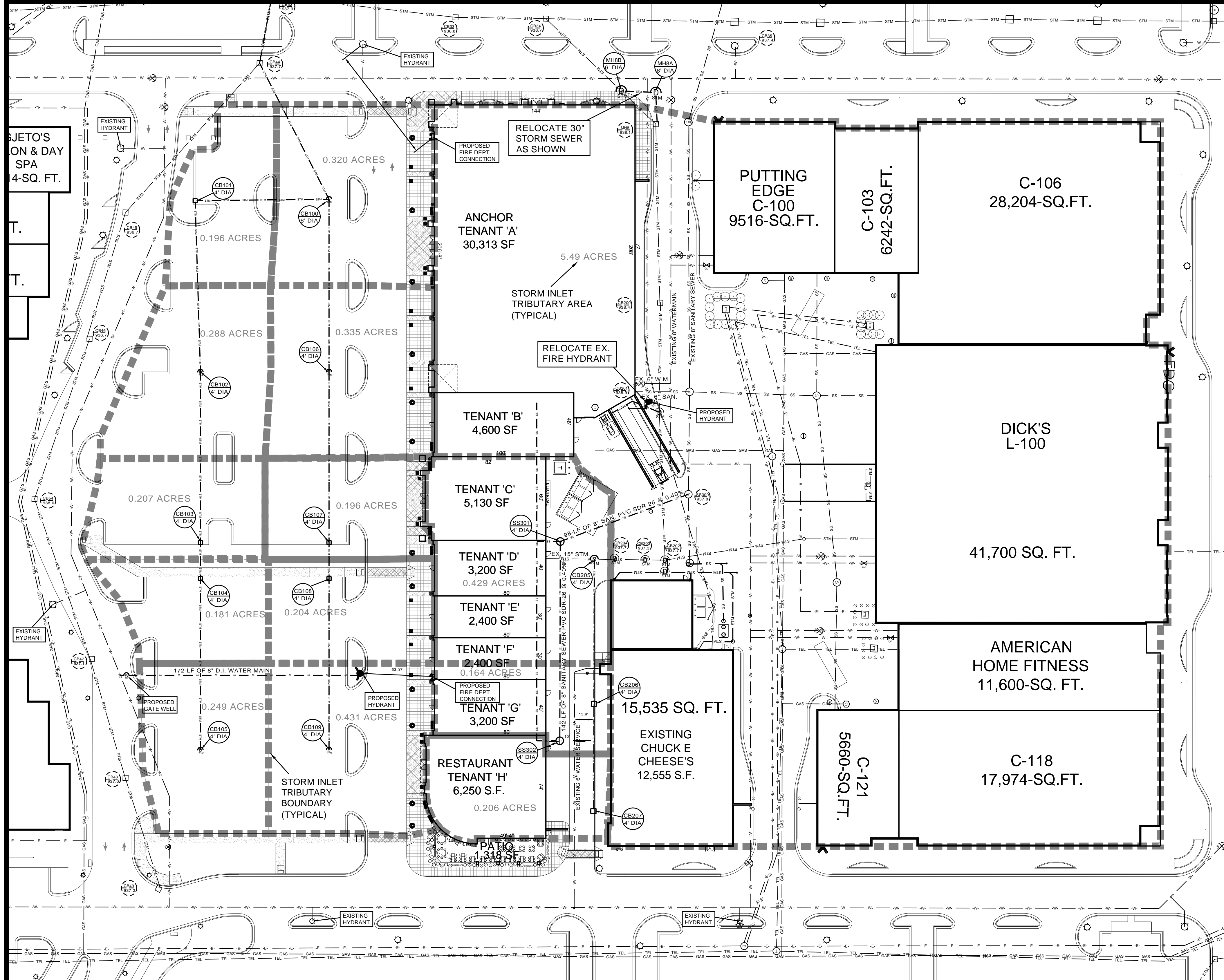
CLIENT: SPIGEL PROPERTIES, INC
SITE GRADING / EROSION CONTROL PLAN

These documents are instruments of service in respect to the legal and professional services provided by the undersigned. Diffin-Umlor & Associates (DUA) is not responsible for the actions of its employees, agents, or independent contractors. Users shall be responsible for the accuracy of the information provided to DUA. DUA shall not be held liable for any damages, losses, or expenses, including attorneys' fees, arising out of or resulting from the use of these documents. Any such verification or other expenses shall be agreed upon by User and DUA.

SECTION 15
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

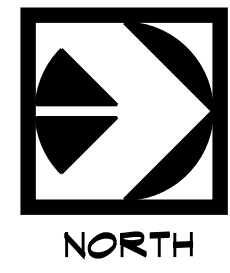
Date: 4-24-12
Drawn By: MD
P.E.: MATT DIFFIN
SCALE: 1 inch = 30 ft.
Job No.: 120301
Sheet No.: 5 OF 9

Seal & Signature:



STORM SEWER	SANITARY
EX. CB44 RIM=937.7 INV. 18" NW=927.77 INV. 18" SE=927.87	EX. SS300 RIM=937.9 INV. 8" E&W=931.13 INV. 8" S=931.13 (REMOVE) INV. 8" SE=931.23
EX. CB34 RIM=936.7 INV. 42" S=925.46 INV. 30" N=926.26 INV. 30" NE=926.36	PR. SS301 RIM=939.0 INV. 8" NW=931.92 INV. 8" E=932.02 INV. 6" S=932.12
EX. MH8 RIM=938.1 INV. 30" E&W=926.95	PR. SS302 RIM=939.0 INV. 8" W=932.59 INV. 6" S=932.69
EX. CB200 RIM=938.4 INV. 30" E&W=927.56	
EX. CB201 RIM=938.87 INV. 15" S=928.45 INV. 24" N=929.28 INV. 30" E&W=927.95	
EX. CB202 RIM=937.67 INV. 12" E=929.75 INV. 24" N&S=929.50 INV. 30" W=928.92	
EX. CB203 RIM=937.28 INV. 24" N&S=929.61	
EX. CB204 RIM=937.68 INV. 24" N=929.84 INV. 15" S=930.20	

NOTE:
PROPOSED SANITARY SEWER AND WATER
MAIN EXTENSIONS SHALL BE PLACED IN A
20' WIDE EASEMENT DEDICATED TO THE
CITY OF NOVI.



UTILITY LEGEND	
EXISTING ELECTRIC	---
PROPOSED ELECTRIC	---
EXISTING UTILITY LINE	---
EXISTING GAS MAIN	---
PROPOSED GAS MAIN	---
EXISTING IRRIGATION	---
PROPOSED IRRIGATION	---
PROPOSED UTILITY LINE	---
PROPOSED SANITARY SEWER	---
EXISTING SANITARY SEWER	---
EXISTING STORM SEWER	---
PROPOSED STORM SEWER	---
EXISTING TELEPHONE LINES	---
PROPOSED TELEPHONE LINES	---
EXISTING WATER MAIN	---
PROPOSED WATER MAIN	---

49308 WAINSTOCK
WIXOM, MI 48393
(P):248-437-9955
(F):866-690-4307

REVISIONS

NO.	DATE	DESCRIPTION

CLIENT: SPIGEL PROPERTIES, INC

UTILITY PLAN

These documents are instruments of service in respect to the engineering and/or design work provided by Diffin-Umlor & Associates, Inc. (the "Consultant") to the Client. The Client agrees to hold the Consultant harmless from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or ratification shall be agreed upon by User and DDC.

SECTION 15
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

Date: 4-24-12
Drawn By: MD

P.E.: MATT DIFFIN

SCALE: 1 inch = 40 ft.

Job No.: 120301

Sheet No.

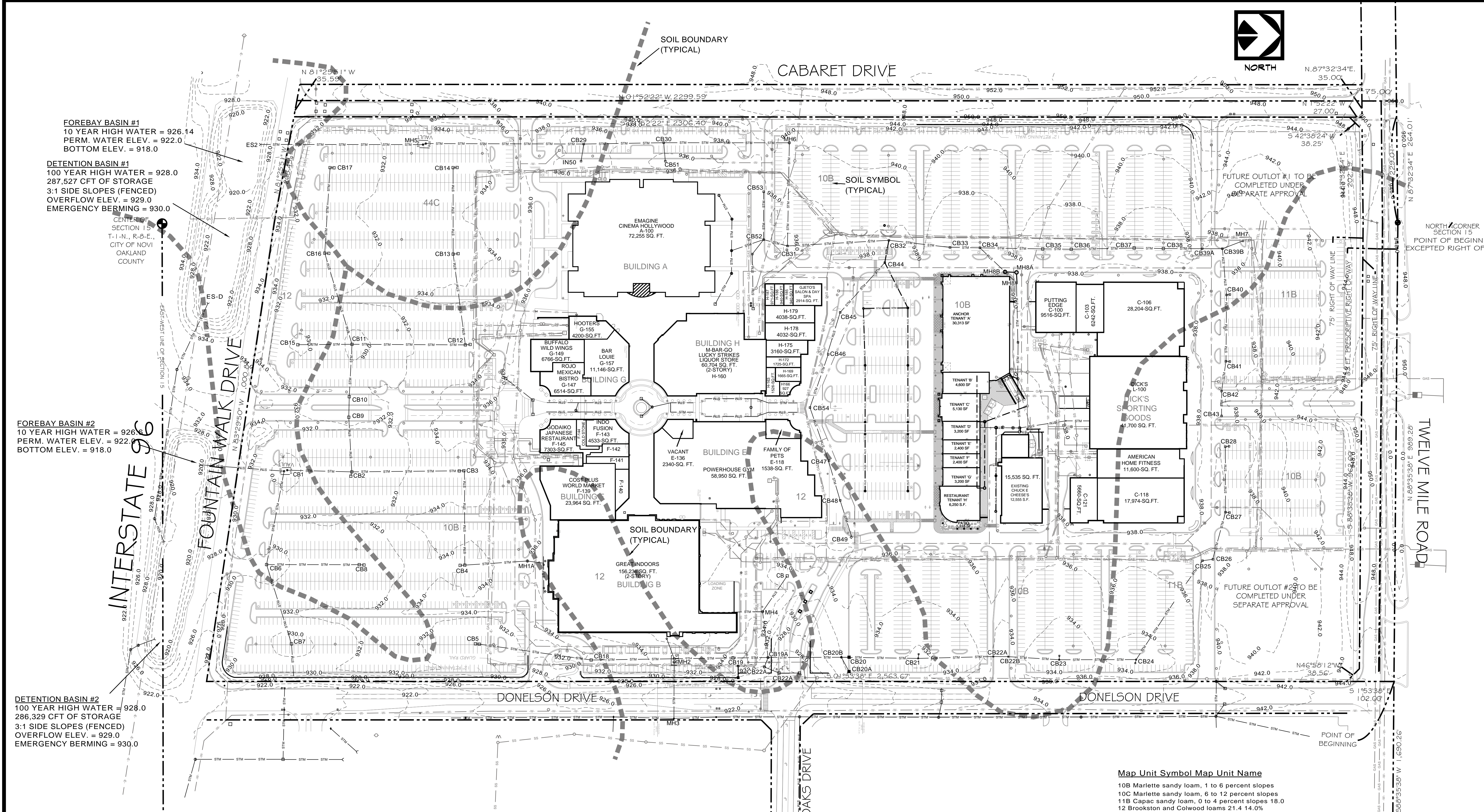
6 OF 9

NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI
STANDARDS & SPECIFICATIONS.

NOTE:
EXISTING STORM SEWER DATA USED IN
THESE CALCULATIONS (I.E. DRAINAGE
AREAS, DESIGN FLOW RATES, AND
HYDRAULIC GRADE INFORMATION) WAS
TAKEN FROM THE GIFFELS-WEBSTER DESIGN
DRAWINGS SHEET C33 DATED 11-15-00.

Label	Upstream Node	Downstream Node	Section Size	Manning n	Length (ft)	Slope (%)	Tc (min)	Rational Coefficient	Upstream Inlet Area (acres)	Upstream Inlet CA (acres)	Average Velocity (ft/s)	Full Capacity (cfs)	Total System Flow (cfs)	Rim Elevation (ft)	Hydraulic Grade Line Elevation (ft)	Upstream Invert Elevation (ft)	Downstream Invert Elevation (ft)
P-9	CB105	CB104	12 inch	0.013	123.00	0.33	15.00	0.75	0.25	0.19	2.09	2.03	0.73	937.00	933.11	933.00	932.60
P-16	CB109	CB108	12 inch	0.013	123.00	0.33	15.00	0.75	1.00	0.75	3.74	2.03	2.94	937.00	934.75	933.00	932.60
P-10	CB104	CB103	12 inch	0.013	26.00	0.35	15.98	0.75	0.18	0.14	2.41	2.10	1.26	937.00	933.06	932.50	932.41
P-19	CB108	CB107	12 inch	0.013	26.00	0.35	15.55	0.75	0.15	0.15	4.51	2.10	3.54	937.00	934.50	932.50	932.41
P-11	CB103	CB102	12 inch	0.013	122.00	0.32	16.16	0.75	0.21	0.16	3.44	2.01	1.87	937.00	932.50	932.31	931.92
P-22	CB109	CB106	12 inch	0.013	107.00	0.33	15.64	0.75	0.15	0.12	2.94	2.03	1.12	937.00	933.78	932.32	931.92
P-12	CB102	CB101	18 inch	0.013	123.00	0.33	16.75	0.75	0.29	0.22	3.10	5.99	2.72	937.00	932.11	931.72	931.32
P-18	CB106	CB100	18 inch	0.013	123.00	0.33	16.02	0.75	0.34	0.25	4.32	5.99	5.10	937.00	932.19	931.72	931.32
P-13	CB101	CB100	18 inch	0.013	96.00	0.32	17.41	0.75	0.20	0.15	2.72	5.97	3.30	936.80	931.99	931.22	930.91
P-14	CB100	CB44	18 inch	0.013	110.00	2.14	18.00	0.75	0.32	0.24	5.77	15.35	9.34	937.00	930.72	930.81	928.46
P-15	CB44	CB32	18 inch	0.013	47.00	0.66	18.32	0.75	0.17	0.13	8.41	8.53	14.86	937.70	929.78	927.77	927.46
P-21	CB207	CB206	12 inch	0.013	77.00	0.32	15.00	0.75	0.21	0.15	2.08	2.03	0.61	936.00	934.17	934.00	933.75
P-22	CB206	CB205	12 inch	0.013	107.00	0.33	15.64	0.75	0.15	0.12	2.94	2.03	1.12	937.00	933.78	933.65	933.31
P-30	CB205	CB204	12 inch	0.013	15.00	0.80	16.22	0.75	0.43	0.32	1.91	5.78	2.35	937.70	932.51	930.32	930.20
P-31	CB204	CB203	24 inch	0.013	22.00	1.05	16.35	0.75	0.00	0.00	0.75	23.13	2.35	937.28	932.51	929.84	929.61
P-32	CB203	CB202	24 inch	0.013	14.00	0.79	16.84	0.75	0.00	0.00	0.75	20.05	2.35	937.28	932.51	929.61	929.50
P-24	CB202	CB201	30 inch	0.013	102.00	0.95	17.16	0.75	5.49	4.12	3.77	40.00	18.49	937.70	932.30	928.92	927.95
P-25	CB201	CB200	30 inch	0.013	80.00	0.35	17.61	0.75	0.00	0.00	3.77	24.26	18.49	938.90	932.14	927.95	927.67
P-26	CB200	MH8	30 inch	0.013	128.00	0.48	17.96	0.75	0.00	0.00	3.77	28.55	18.49	938.40	931.88	927.67	927.05
P-27	MH8	MH8A	30 inch	0.013	23.00	0.43	18.53	0.75	0.00	0.00	3.77	27.04	18.49	938.10	931.78	926.85	926.85
P-28	MH8A	MH8B	30 inch	0.013	25.00	0.32	18.63	0.75	0.00	0.00	3.77	23.20	18.49	938.20	931.78	926.85	926.77
P-29	MH8B	CB34	30 inch	0.013	75.00	0.55	18.74	0.75	0.00	0.00	3.77	30.33	18.49	938.30	931.63	926.77	926.36

Seal & Signature:



FOREBAY BASIN #1
10 YEAR HIGH WATER = 926.14
PERM. WATER ELEV. = 922.0
BOTTOM ELEV. = 918.0

DETENTION BASIN #1
100 YEAR HIGH WATER = 928.0
287,527 CFT OF STORAGE
3:1 SIDE SLOPES (FENCED)
OVERFLOW ELEV. = 929.0
EMERGENCY BERMING = 930.0

FOREBAY BASIN #2
10 YEAR HIGH WATER = 926.6
PERM. WATER ELEV. = 922.0
BOTTOM ELEV. = 918.0

DETENTION BASIN #2
100 YEAR HIGH WATER = 928.0
286,329 CFT OF STORAGE
3:1 SIDE SLOPES (FENCED)
OVERFLOW ELEV. = 929.0
EMERGENCY BERMING = 930.0

STORM WATER DATA

OVERALL SITE AREA =	3,074,041 -SFT	70.57 ACRES
CABARET DRIVE R.O.W. =	146576-SFT	3.365 ACRES
EXISTING OPEN SPACE		
CABARET DRIVE R.O.W. =	76578-SFT	1.76 ACRES
EX. PARKING & PERIMETER =	342,006-SFT	7.85 ACRES
PROPOSED DEVELOPMENT AREA =	217800-SFT	5.0 ACRES
OUTLOT 1 =	81133-SFT	1.86 ACRES
OUTLOT 2 =	94561-SFT	2.17 ACRES
TOTAL =	812078-SFT	18.64 ACRES
EXISTING IMPERVIOUS		
CABARET DRIVE R.O.W. =	70000-SFT	1.61 ACRES
EX. PARKING & BUILDINGS =	2191963-SFT	50.32 ACRES
TOTAL =	2261963-SFT	51.93 ACRES
EXISTING OPEN SPACE PERCENTAGE =	26.41%	
EXISTING IMPERVIOUS PERCENTAGE =	73.59%	

STORM WATER DATA TAKEN FROM GIFFELS-WEBSTER ENGINEERS 11-15-00 APPROVED PLANS:
OVERALL SITE AREA = 70.57 ACRES
PROPOSED RUNOFF COEFFICIENT 'C' = 0.75
ALLOWABLE DISCHARGE RATE = 0.2-CFS/ACRE OR 14.11-CFS
V100 = 12549 CF / IMP. ACRE
MDOT 100 YEAR REQUIRED DETENTION = 664,187-CFT
PROVIDED DETENTION = 674,070-CFT
APPROVED IMPERVIOUS AREA SHOWN ON PLANS = 56.93 ACRES
PROPOSED WEIGHTED RUNOFF COEFFICIENT 'Cw':

AREA (SQ.FT.)	RUNOFF COEFFICIENT	A x C
EXISTING IMPERVIOUS (R.O.W., PARKING, & BUILDINGS)	0.8	1809570
EXISTING OPEN AREA (R.O.W., PARKING, & PERIMETER)	0.15	62788
PROPOSED IMPERVIOUS (DEVELOPMENT AREA)	0.8	144074
PROPOSED OPEN AREA (DEVELOPMENT AREA)	0.15	5656
FUTURE IMPERVIOUS (OUTLOTS 1 & 2 ±65%)	0.8	91361
FUTURE OPEN AREA (OUTLOTS 1 & 2 ±35%)	0.15	9224
TOTAL =		2122673

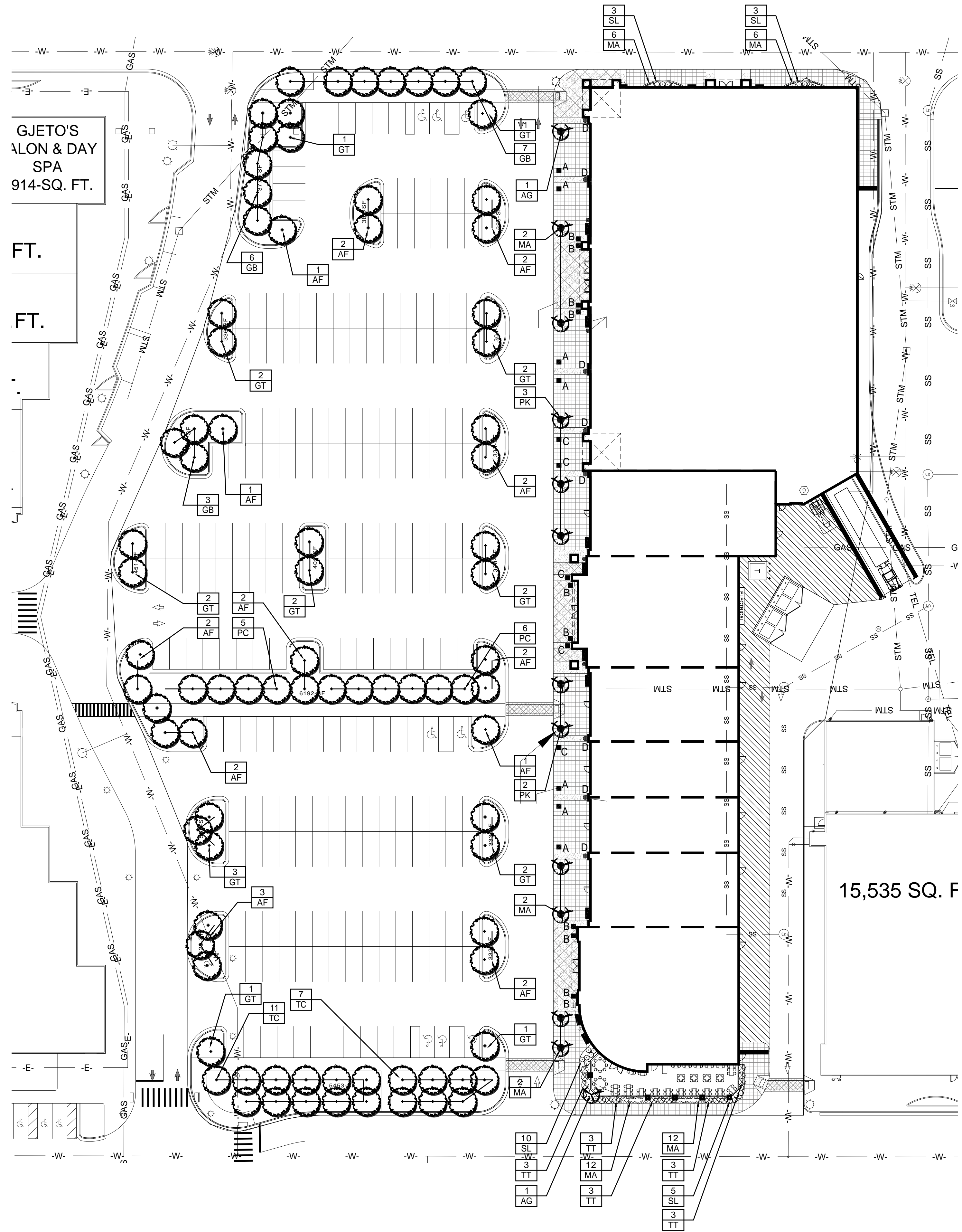
WEIGHT 'Cw' = 2122673 / 3074041 = 0.69
100 YR. REQUIRED DETENTION = VT = V100 x A x Cw = 12,549 x 70.57 x 0.69 = 611,052-CFT < 674,070-CFT

Map Unit Symbol Map Unit Name

10B	Marlette sandy loam, 1 to 6 percent slopes
10C	Marlette sandy loam, 6 to 12 percent slopes
11B	Capac sandy loam, 0 to 4 percent slopes 18.0
12	Brookston and Colwood loams 21.4 14.0%
27	Houghton and Adrian mucks 0.0 0.0%
44C	Riddles sandy loam, 6 to 12 percent slopes 24.9 16.3%
69	Thomas muck 1.8 1.2%

NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS & SPECIFICATIONS.

Seal & Signature:



PARKING AREA:
 226-SPACES x 171-SQ. FT. = 38,646 SQ. FT. x 10% = 3865 SQ. FT.
 50,000 SQ. FT. x 5% = 2,500 SQ. FT.
 7525 SQ. FT. x 1% = 75 SQ. FT.
 TOTAL REQUIRED = 6440 SQ. FT.
 PROVIDED = 20,018 SQ. FT.

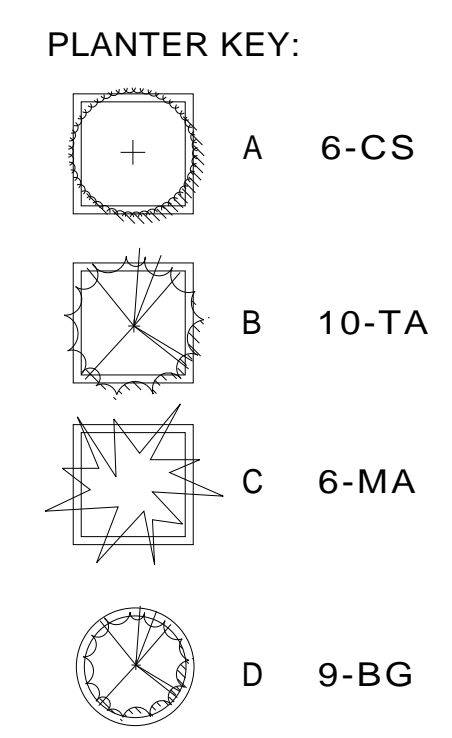
REQUIRED PARKING LOT TREES = 6440 SQ. FT. / 75 = 86 TREES
 TOTAL REQUIRED = 86 TREES
 TOTAL PROVIDED = 86 TREES

BUILDING LANDSCAPE:
 1442-LFT x 8 FT. = 11536 SQ. FT.
 PROVIDED = 898 SQ. FT.
 THE DEVELOPER WOULD LIKE TO REQUEST A WAIVER FROM THE BUILDING LANDSCAPE REQUIREMENTS ON THE BASIS OF MAINTAINING FOOT TRAFFIC AND WINDOW SHOPPING VISIBILITY IN FRONT OF RETAIL SPACES.

TOTAL REQUIRED LANDSCAPE AREA = 6440 + 11536 = 17976 SQ. FT.
 TOTAL PROVIDED LANDSCAPE AREA = 20916 SQ. FT.

PLANTING SCHEDULE FOR SITE LANDSCAPING

KEY	QUAN.	SIZE	BOTANICAL NAME	COMMON NAME	UNIT PRICE	TOTAL PRICE
AF	21	3"	Acer x. fremanii 'Autumn Blaze'	Autumn Blaze Maple	\$400.00	\$8400.00
GB	16	3"	Ginkgo biloba 'Princeton Sentry'	Upright Ginkgo	\$400.00	\$6400.00
GT	19	3"	Gleditsia t. var. inermis 'Skyline'	Skyline Honeylocust	\$400.00	\$7600.00
PC	11	3"	Pyrus calleryana 'Cleveland Select'	Cleveland Select Ornamental Pear	\$400.00	\$4400.00
TC	18	3"	Tilia	Linden	\$400.00	\$7200.00
AG	2	2"	Amelanchier laevis 'Cumulus'	Serviceberry	\$250.00	\$500.00
MP	6	2"	Malus 'Sentinal'	Upright Crabapple	\$250.00	\$1500.00
PK	3	2"	Prunus s. 'Kwanzan'	Kwanzan Cherry	\$250.00	\$750.00
BG	9	24" HT.	Buxus 'Green Velvet'	Green Velvet Boxwood	\$50.00	\$450.00
CS	6	24" HT.	Cornus stolonifera 'Arctic Fire'	Redtwig Dogwood	\$50.00	\$300.00
SL	21	24" HT.	Spiraea b. 'Anthony Waterer'	Anthony Waterer Spirea	\$50.00	\$1050.00
TA	10	30" HT.	Taxus cuspidata 'Capitata'	Capitata Conical Yew	\$50.00	\$500.00
TT	15	24" HT.	Taxus Tautonii'	Tauton Yew	\$50.00	\$750.00
MA	42	1 Gal.	Miscanthus s. 'Adagio'	Adagio Maiden Grass	\$15.00	\$630.00
3500-SF				Cypress Mulch	\$0.60	\$2100.00
1608-SYD				Turfgrass Sod	\$6.00	\$9648.00
388-LF				Sprinkler System		\$12200.00
ESTIMATED TOTAL						\$64,378.00



ANITA SILVERMAN
 LANDSCAPE ARCHITECT

PR#1.932.1925
 FX#31.933.8773
 asilverman@charter.net
 www.anitasilverman.com
 530 W. 7th Street
 Traverse City, MI 49684

Diffin-Umlor & ASSOCIATES
 Civil Engineering • Surveying • Landscaping • Construction Services

49308 WAINSTOCK
 WIXOM, MI 48393
 (P):248-437-9955
 (F):866-690-4307

REVISIONS
 REVISED PER CITY'S
 6-4-12 COMMENTS

CLIENT: SPIGEL PROPERTIES, INC

LANDSCAPE PLAN

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Seal & Signature:

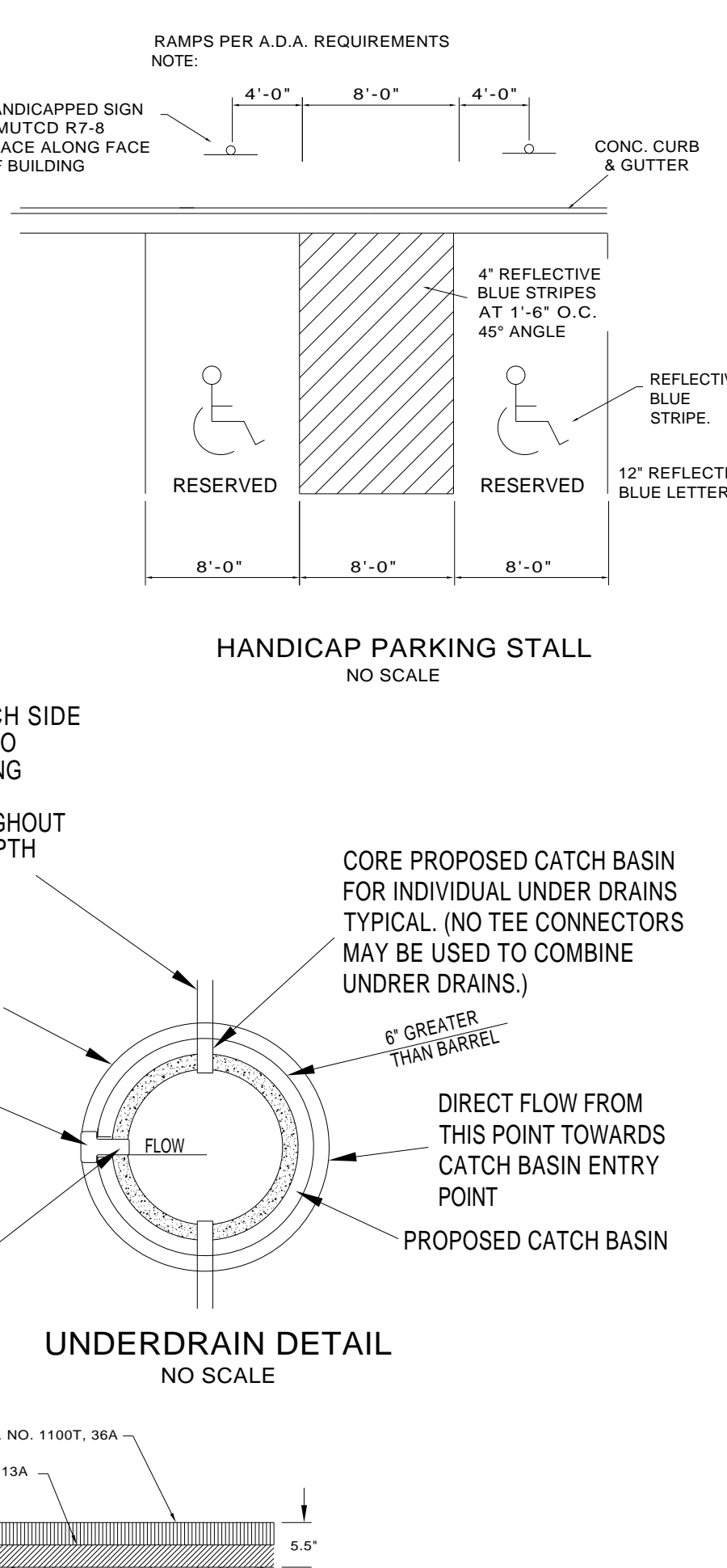
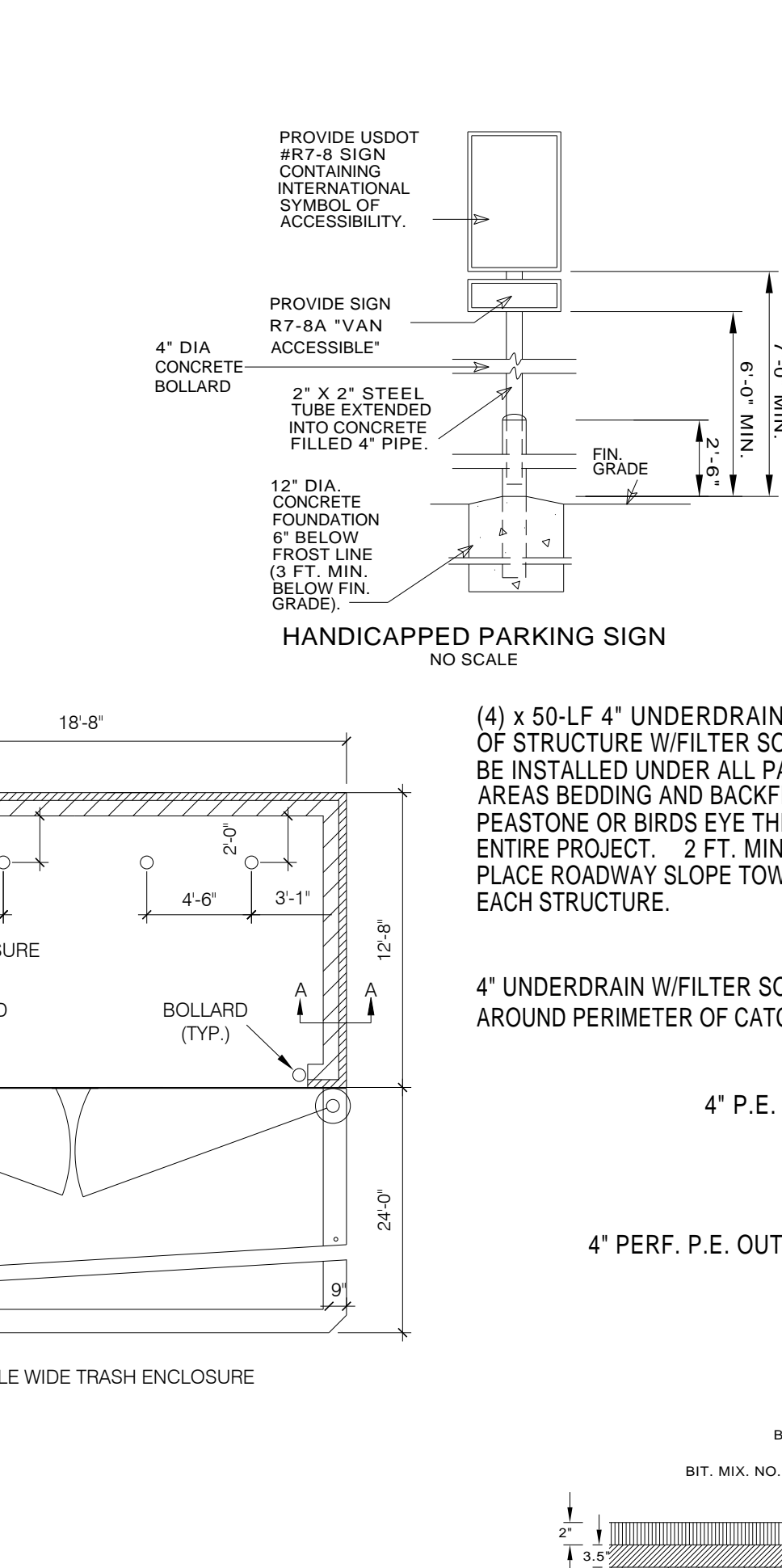
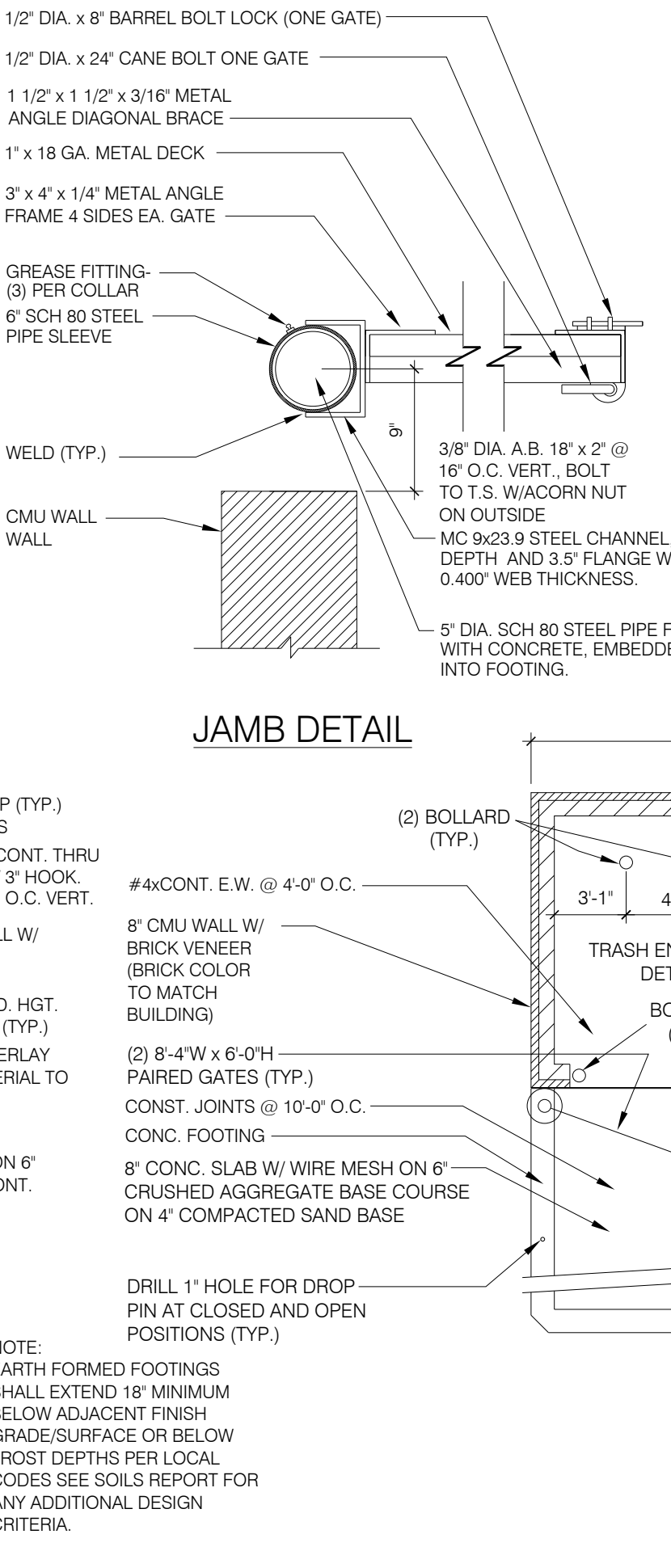
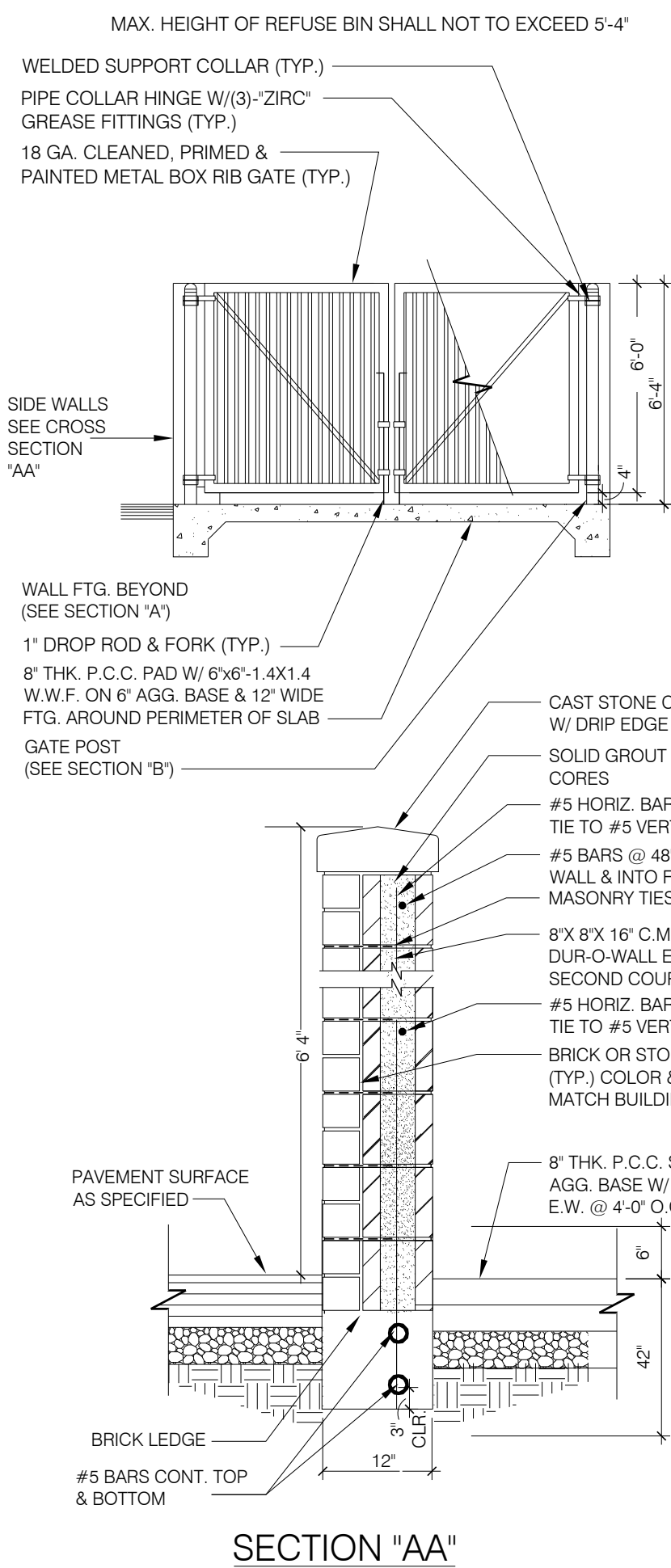
Anita Silverman

SECTION 15
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN

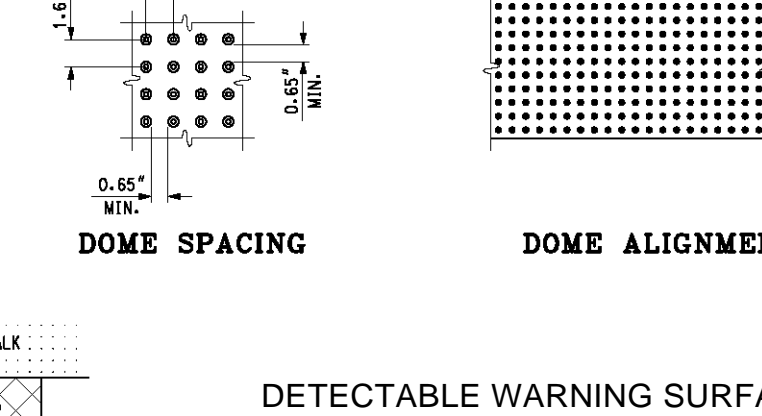
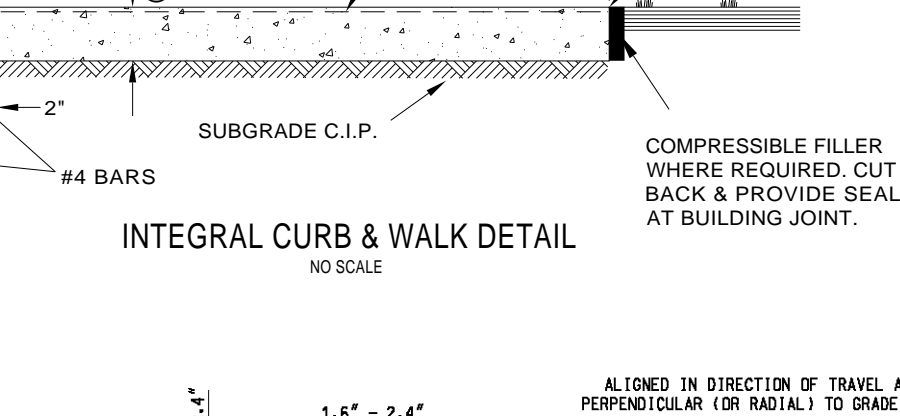
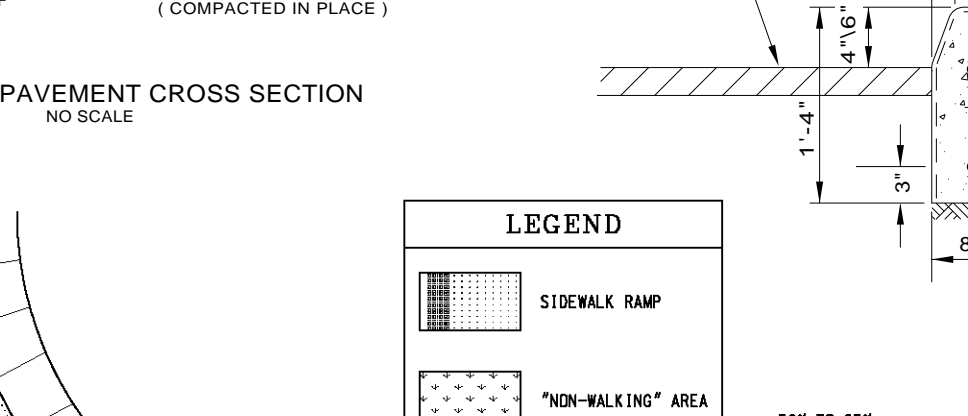
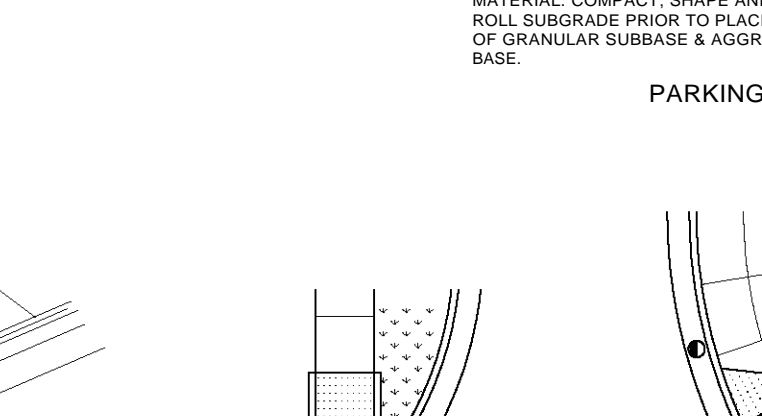
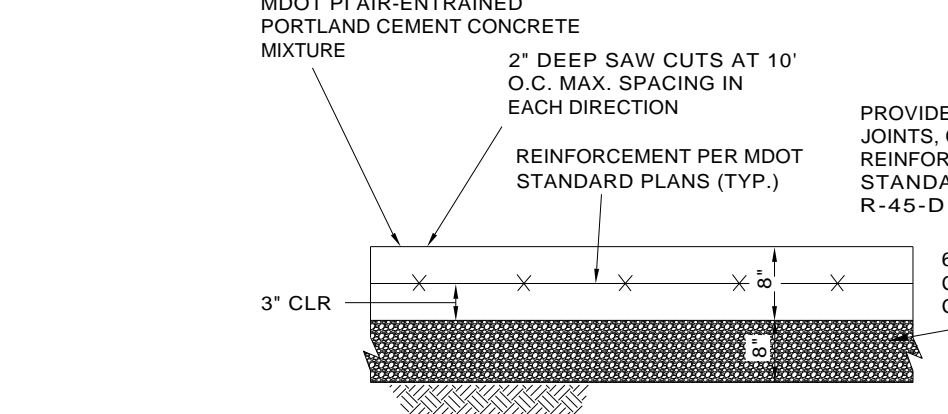
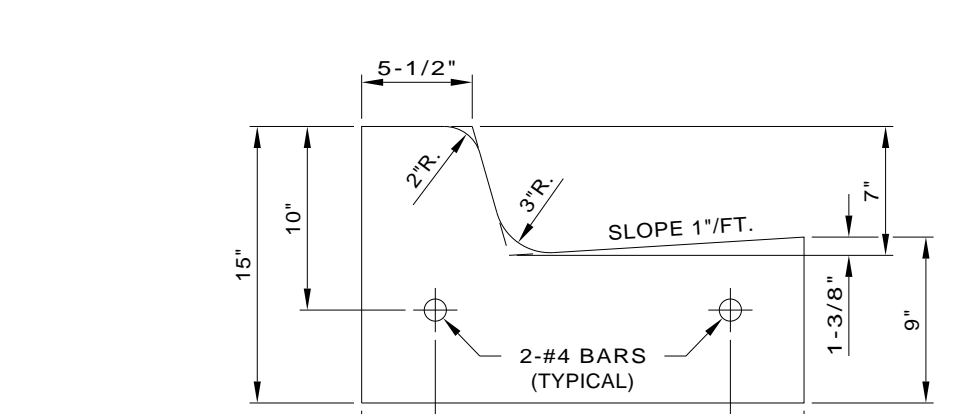
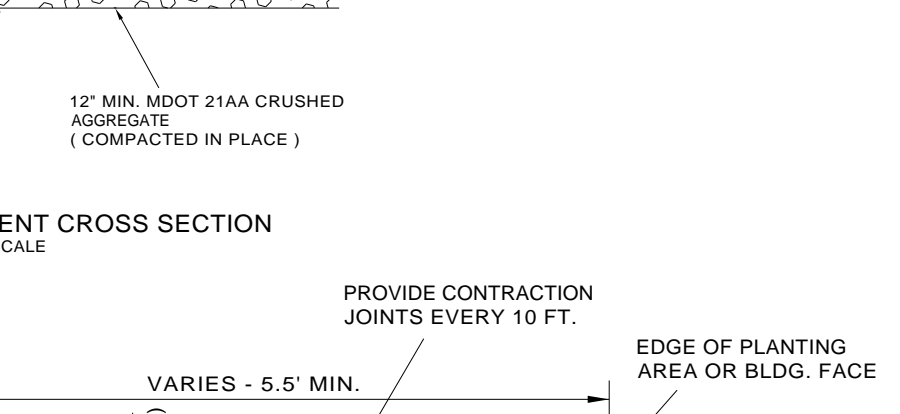
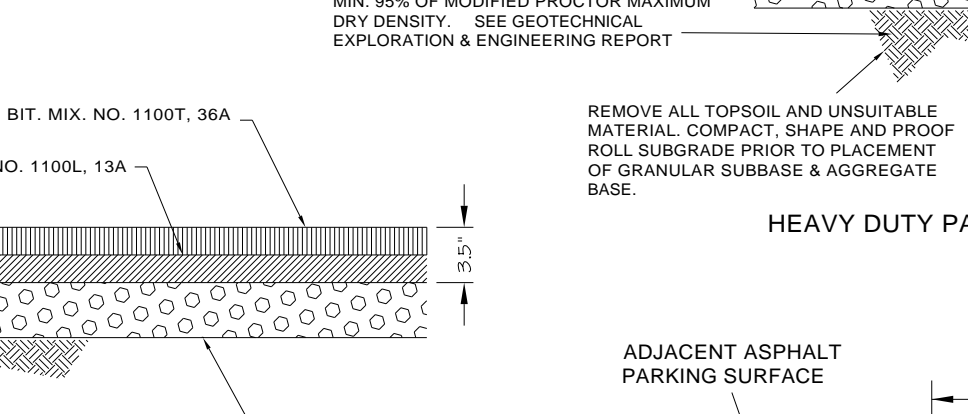
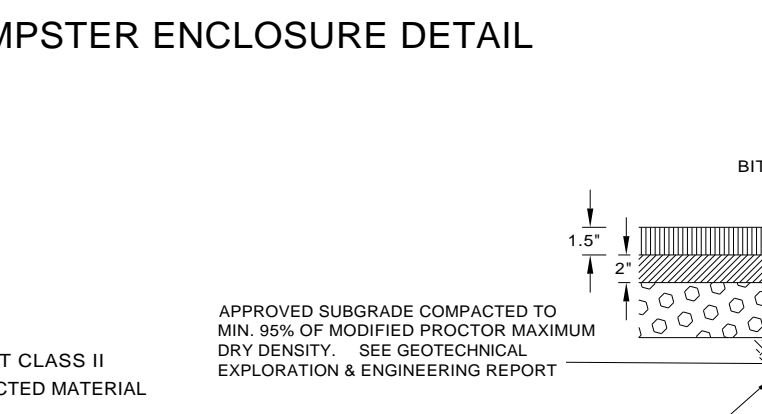
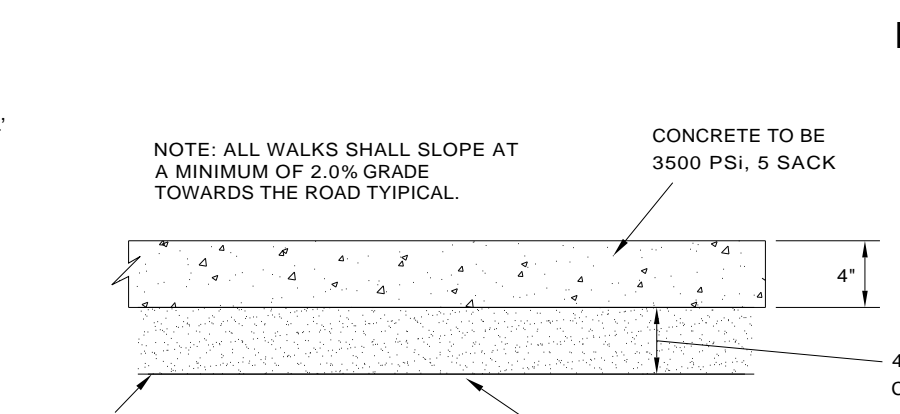
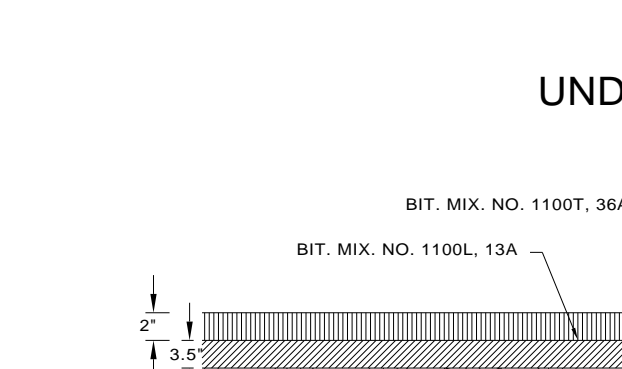
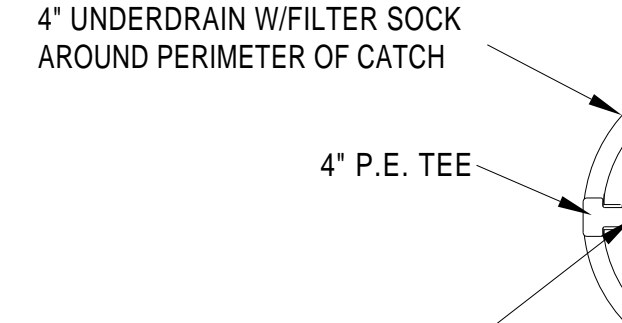
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 Drawn By: AS
 P.E.: MATT DIFFIN
 SCALE: 1 inch = 30 ft.
 Job No.: 120301
 Sheet No.
8 OF 9

- GENERAL NOTES:
- ALL WORK TO BE DONE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION, MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, AND THE CITY OF NOVI STANDARDS & SPECIFICATIONS.
 - ALL SURPLUS FILL MATERIAL AND TOPSOIL SHALL BE REMOVED FROM SITE.
 - CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FROM CITY OF NOVI PRIOR TO THE START OF CONSTRUCTION.
 - THE EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHOULD CONTACT THE APPROPRIATE UTILITY COMPANY FOR THE EXACT LOCATION AND DEPTH OF EACH UTILITY.
 - THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL COSTS FOR LOCATING, REMOVING, REPLACING, OR RELOCATING THESE UTILITIES SHALL BE INCIDENTAL TO CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES BEFORE ANY WORK IS STARTED. THE EXACT LOCATION OF EXISTING UTILITIES SHALL BE DETERMINED BY HAND DIGGINGS.
 - CONTRACTOR SHALL NOTIFY PROPER GOVERNMENTAL INSPECTION AGENCY 48 HOURS PRIOR TO STARTING CONSTRUCTION.
 - COMPACTED SAND BACKFILL M.D.O.T. CLASS II LIMITED TO 1" MAXIMUM SIZE OR APPROVED EQUAL IS TO BE USED EXCLUSIVELY IN ALL UTILITY TRENCHES UNDER AREAS OR WITHIN A 1 ON 1 INFLUENCE OF THE PAVED AREAS THROUGHOUT THE COURSE OF THE PROJECT UNLESS OTHERWISE SPECIFIED COMPACT TO 95% OF ITS MAXIMUM UNIT WEIGHT AS DETERMINED BY ASTM D 1557-78.
 - THE CONTRACTOR SHALL ABIDE BY ALL REQUIREMENTS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION REGARDING CONSTRUCTION MAINTAINING TRAFFIC, BARRICADING, BORING, BACKFILL AND RESTORATION. THERE WILL BE NO ADDITIONAL COMPENSATION DUE TO THE CONTRACTOR FOR COMPLYING WITH THESE REQUIREMENTS.
 - THE CONTRACTOR SHALL BE REQUIRED TO COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP CONSTRUCTION FOR EXTENDED PERIODS ONCE CONSTRUCTION HAS BEGUN.
 - THE CONTRACTOR SHALL FURNISH THE OWNER & THE CITY OF NOVI ONE COMPLETE SET OF "AS-BUILT" MYLARS UPON COMPLETION OF THE PROJECT. REFER TO ARTICLE 11-301(CI) FOR CITY OF NOVI AS-BUILT REQUIREMENTS.
 - THE CONTRACTOR SHALL MAINTAIN IN SERVICE ALL EXISTING SANITARY SEWER, WATER OR STORM SEWER SERVICE CONNECTIONS.
 - THE CONTRACTOR SHALL REMOVE OFF SITE ALL TREES, VEGETATION, CONCRETE, STUMPS, FOOTING, AND FOUNDATIONS FROM PROJECT SITE AND DISPOSED OF AT A DISPOSAL SITE APPROVED TO ACCEPT THIS DEBRIS. PROVIDE OWNER WITH LOCATION(S) OF DISPOSAL SITE(S).
 - DUMPSTER ENCLOSURE TO BE CMU CONSTRUCTION. CONTRACTOR TO SUBMIT FENCE GATE AND ENCLOSURE DETAILS TO ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTORS SHALL NOT ADJUST STRUCTURES TO FINAL GRADE UNTIL FINAL CURB AND PAVEMENT ELEVATIONS HAVE BEEN STAKED.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES, AND MATERIAL CERTIFICATIONS FOR APPROVAL PRIOR TO ORDERING MATERIALS.

- GENERAL NOTES: BITUMINOUS PAVING
- CONTRACTOR TO THOROUGHLY CLEAN PAVEMENT PRIOR TO PLACEMENT OF FINAL LIFT BITUMINOUS SURFACING.
 - ALL WORK TO BE DONE IN ACCORDANCE WITH M.D.O.T. 1990 STANDARD SPECIFICATIONS FOR CONSTRUCTION. SECTION 4.00.04 THRU 4.00.19.
 - BITUMINOUS MIXTURE TO BE IN ACCORDANCE WITH M.D.O.T. 7.10.06, TABLE 7.10.2.
 - BITUMINOUS MIX TO BE M.D.O.T. NO. 1100T 36A AND M.D.O.T. NO. 1100L 20AA, A-C 120-150 OR APPROVED EQUAL. THICKNESS IS SPECIFIED ON DETAIL.
 - ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH THE DESIGN AND PAVEMENT REQUIREMENTS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - PAVEMENT STRIPING SHALL BE MDT FAST DRY PAVEMENT MARKING. ALL ARROWS, STOP BARS, AND LANE LINES (4" WIDE SINGLE LINE) BETWEEN TURN LANES AND LANES IN THE SAME DIRECTION OF TRAVEL SHALL BE WHITE. LINES SEPARATING OPPOSITE DIRECTIONS OF TRAFFIC SHALL BE 4" WIDE DOUBLE YELLOW. BARRIER-FREE SPACE MARKINGS AND HATCHING SHOULD BE BLUE AND ALL OTHER MARKING MAY BE EITHER WHITE OR YELLOW. ALL PEDESTRIAN CROSS WALKS SHALL BE STRIPED WITH 12" WIDE WHITE DIAGONAL LINES AT 45° ANGLES SPACED 24" APART (TYP.).
- STORM SEWER
- REINFORCED CONCRETE C-76 CL IV W/ PREMIUM JOINT.
 - PRIOR TO CONSTRUCTION ANY DRAINAGE STRUCTURE, THE CONTRACTOR SHALL DETERMINE FOR HIMSELF WHAT TYPE OF TOP SECTION HE SHALL USE IN ESTABLISHING THE DESIGNATED RIM ELEVATIONS.
 - CASTINGS AND FRAMES WITHIN PARKING AREA SHOULD BE EJIW I300 WAY TYPE M2 COVER. USE SOLID COVER HEAVY DUTY ON ALL STORM MANHOLES.
 - CASTINGS WITHIN 18" CURB & GUTTER SHALL BE EJIW 7205M
- WATERLINE
- MINIMUM COVER TO TOP OF WATERMAIN SHALL BE 6 FEET FROM FINISHED GRADE.
 - MINIMUM HORIZONTAL DISTANCE BETWEEN WATERMAINS AND SEWERS SHALL BE 10 FEET.
 - ALL PRESSURE TAPS TO EXISTING WATERMAINS SHALL BE MADE ONLY UNDER CITY OF NOVI SUPERVISION. CONTRACTOR SHALL NOTIFY THE CITY OF NOVI FOR OPENING AND/OR CLOSING EXISTING VALVES OR WHEN CONNECTING TO EXISTING STUBS, AND FOR ALL PRESSURE TAPS.
 - ALL MATERIALS TO BE APPROVED BY THE CITY OF NOVI PRIOR TO THE START OF CONSTRUCTION.
- SANITARY SEWER
- SANITARY SEWER PIPE:
 - 1) MAINLINE: SDR-26 P.V.C. OR ABS TRUSSWELDED JOINTS.
 - 2) SEWER SERVICES: PVC ASTM D3034 SDR 23.5.
 - ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE LATEST CITY OF NOVI STANDARD SPECIFICATIONS AND STANDARD DETAILS FOR SANITARY SEWER CONSTRUCTION.
 - ALL SEWER WILL BE INSPECTED AND GIVEN FINAL APPROVAL BY THE CITY OF NOVI BEFORE BACKFILLING IS ALLOWED.
 - ALL TRENCHES TO BE COMPACTED TO 95% MAXIMUM DENSITY ASTM D-1557.



(4) x 50-LF 4\"/>



M.D.O.T CURB DETAIL C-4 NO SCALE

- MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2.0%. MINIMUM LANDING DIMENSIONS 5' x 5'.
- MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2.0%). RUNNING SLOPE 5% - 7% (6.3% MAXIMUM) SEE NOTES.

REINFORCED CONC. PAVEMENT DETAIL NO SCALE

- REMOVE ALL TOPSOIL AND UNSUITABLE MATERIAL, COMPACT SHAPE AND PROOF ROLL SUBGRADE PRIOR TO PLACEMENT OF GRANULAR SUBBASE & AGGREGATE.
- 6\"/>

PRIVATE PROPERTY CONCRETE SIDEWALK DETAIL NO SCALE

- REMOVE ALL TOPSOIL AND UNSUITABLE MATERIAL, IF ENCOUNTERED.
- FIRM SUBGRADE COMPACT IN PLACE.
- 4\"/>

PARKING LOT PAVEMENT CROSS SECTION NO SCALE

- REMOVE ALL TOPSOIL AND UNSUITABLE MATERIAL, COMPACT SHAPE AND PROOF ROLL SUBGRADE PRIOR TO PLACEMENT OF GRANULAR SUBBASE & AGGREGATE BASE.
- 8\"/>

DOME SECTION

- 50% TO 65% OF BASE.
- 0.8\"/>

DOME SPACING

- 1.6\"/>

DOME ALIGNMENT

- ALIGNED IN DIRECTION OF TRAVEL AND PERPENDICULAR (OR RADIAL) TO GRADE BREAK.
- 24\"/>

M.D.O.T CURB DETAIL C-4 NO SCALE

- MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2.0%. MINIMUM LANDING DIMENSIONS 5' x 5'.
- MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2.0%). RUNNING SLOPE 5% - 7% (6.3% MAXIMUM) SEE NOTES.

REINFORCED CONC. PAVEMENT DETAIL NO SCALE

- REMOVE ALL TOPSOIL AND UNSUITABLE MATERIAL, COMPACT SHAPE AND PROOF ROLL SUBGRADE PRIOR TO PLACEMENT OF GRANULAR SUBBASE & AGGREGATE.
- 6\"/>

PRIVATE PROPERTY CONCRETE SIDEWALK DETAIL NO SCALE

- REMOVE ALL TOPSOIL AND UNSUITABLE MATERIAL, IF ENCOUNTERED.
- FIRM SUBGRADE COMPACT IN PLACE.
- 4\"/>

PARKING LOT PAVEMENT CROSS SECTION NO SCALE

- REMOVE ALL TOPSOIL AND UNSUITABLE MATERIAL, COMPACT SHAPE AND PROOF ROLL SUBGRADE PRIOR TO PLACEMENT OF GRANULAR SUBBASE & AGGREGATE BASE.
- 8\"/>

DOME SECTION

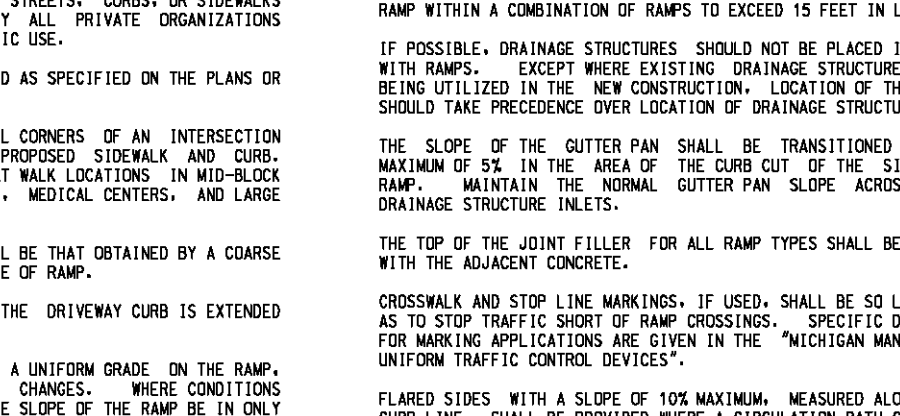
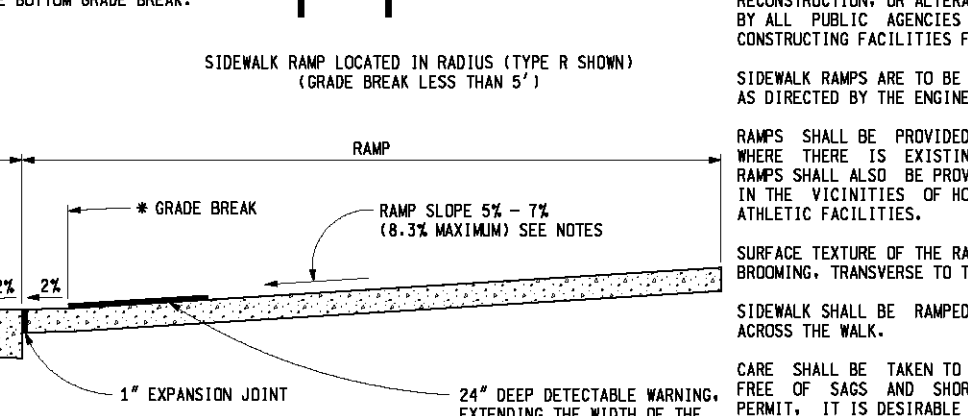
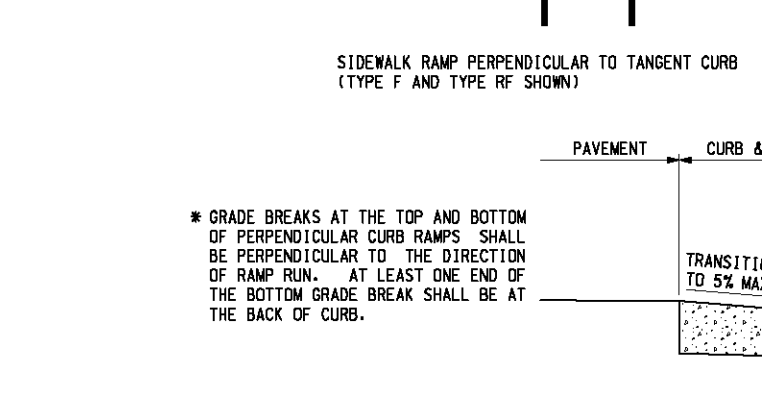
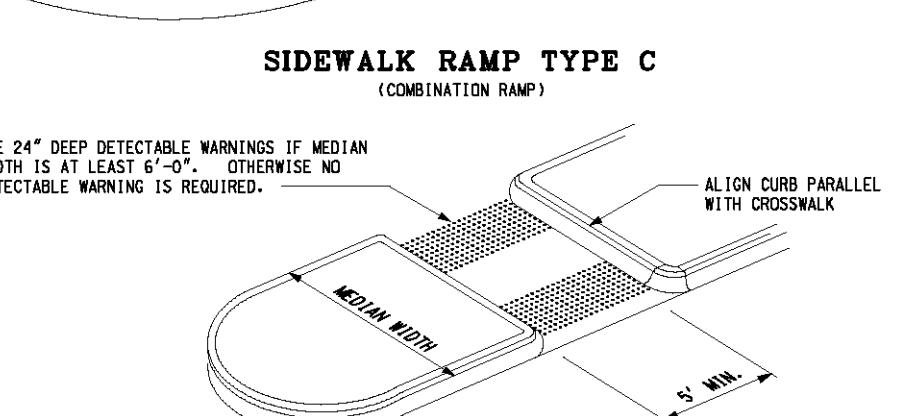
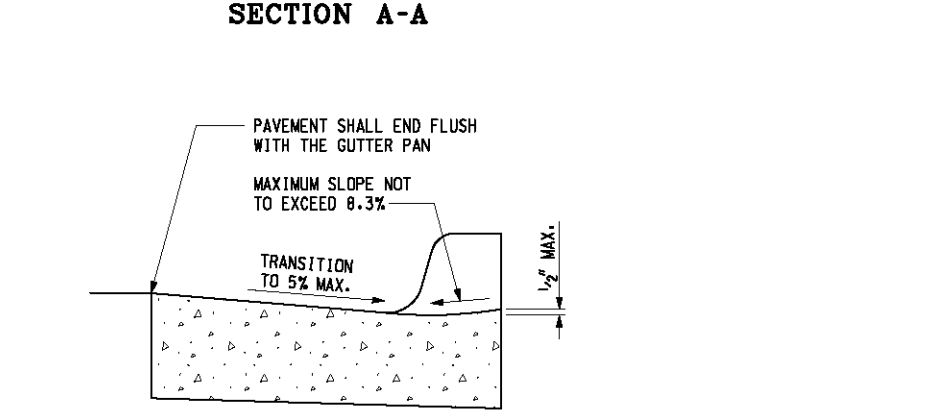
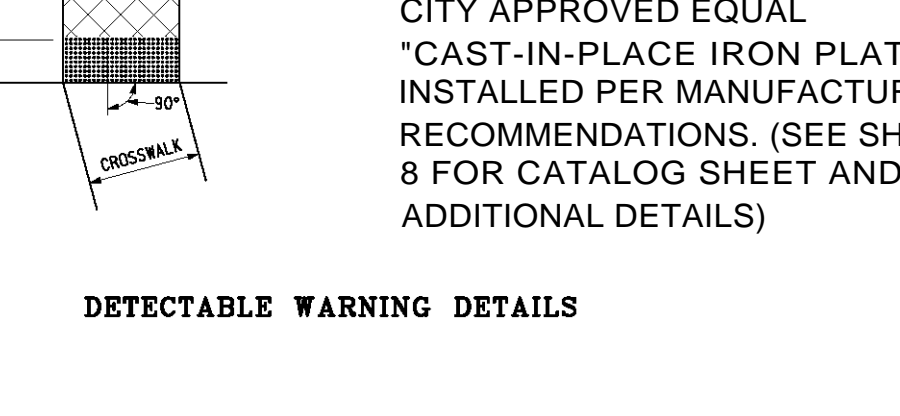
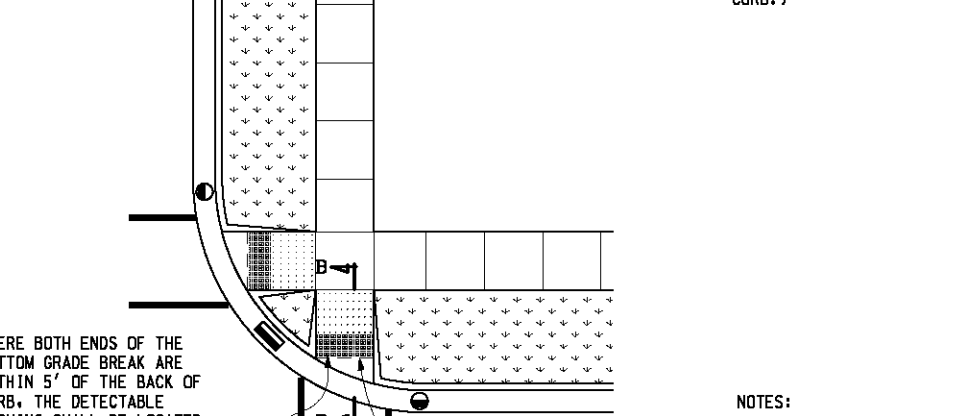
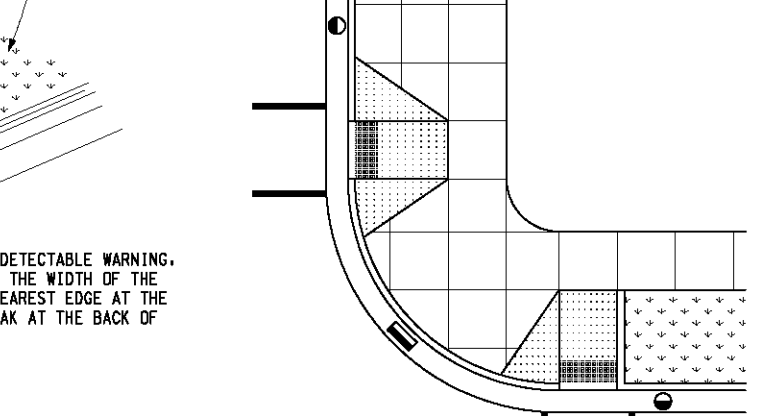
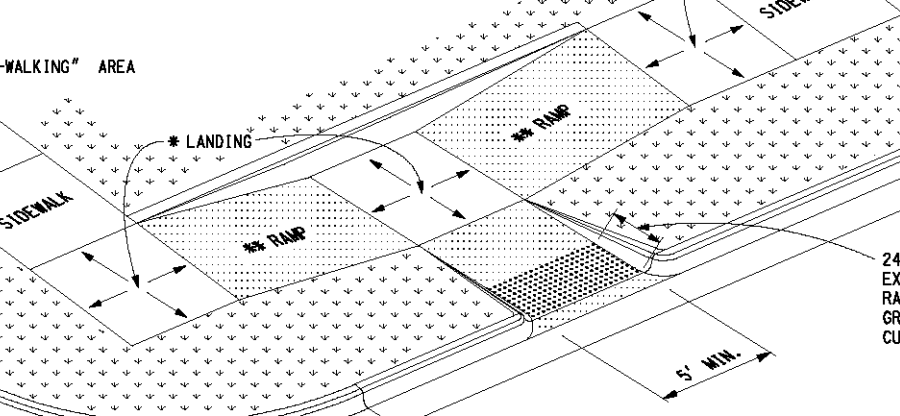
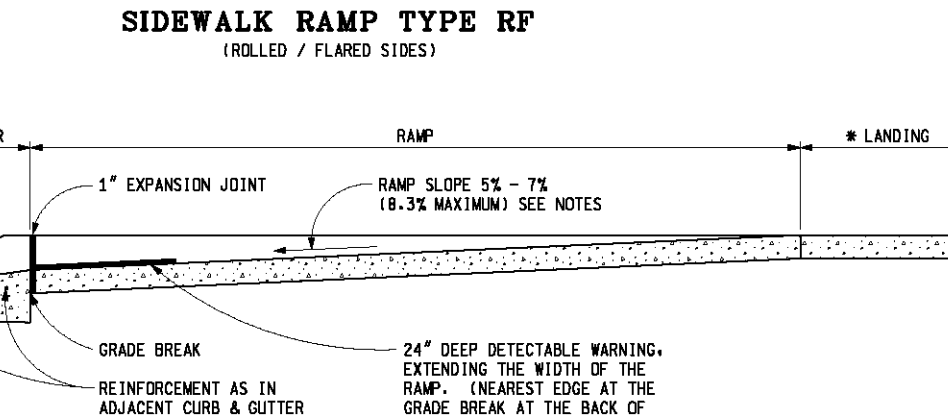
- 50% TO 65% OF BASE.
- 0.8\"/>

DOME SPACING

- 1.6\"/>

DOME ALIGNMENT

- ALIGNED IN DIRECTION OF TRAVEL AND PERPENDICULAR (OR RADIAL) TO GRADE BREAK.
- 24\"/>



SECTION THROUGH CURB CUT (TYPICAL ALL RAMP TYPES)

SECTION THROUGH CURB CUT (TYPICAL ALL RAMP TYPES)

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SECTION THROUGH CURB CUT (TYPICAL ALL RAMP TYPES)

Diffin-Umlor & ASSOCIATES
Civil Engineering • Surveying • Landscaping • Construction Services

24353 TARA DR
SOUTH LYON, MI 48178
(P): 248-431-9955
(F): 866-690-4307

REVISIONS

CLIENT: SPIGEL PROPERTIES, INC

SECTION 15
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

Date: 4-24-12
Drawn By: AS
P.E.: MATT DIFFIN
SCALE: AS SHOWN

Job No.: 120301
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