

**BENCHMARKS:** (FROM CITY OF NOV)

**REFERENCE BENCHMARKS**

REF. BM #1 (JOB NO. 2000.369.OBS)  
TOP OF SW CORNER OF CONCRETE BASE TO LIGHT POLE LOCATED 80±  
SOUTH OF "TWELVE OAKS" SIGN AT MAIN ENTRANCE. 20± WEST OF  
SHERATON DRIVE, WHICH RUNS PARALLEL AND WEST OF NOV ROAD.  
ELEV. 939.51

REF. BM #2 - SQUARE ON TOP OF CONCRETE BASE TO WATER TOWER AT  
CENTERLINE OF ENTRANCE DOOR TO WATER TOWER. WATER TOWER AT  
SW CORNER OF 12 OAKS MALL.  
SEE JOB NO. 95509A, PAGES 10&11 AND JOB NO. 2000.369.OBS, PAGE 9  
ELEV. 935.41

**SITE BENCHMARKS**

BM #3  
ARROW ON HYDRANT EAST OF NOV ROAD AND OPPOSITE OF "RED  
LOBSTER".  
ELEV. 938.135

BM #4  
ARROW ON HYDRANT ALONG NORTH LINE LOT 3 AND 130' WESTERLY OF  
DRIVE WHICH CIRCLES 12 OAKS MALL.  
ELEV. 929.83

BM #5  
ARROW ON HYDRANT AT NORTHWEST CORNER LOT 4.  
ELEV. 947.39

BM #6  
ARROW ON HYDRANT AT SOUTHWEST CORNER LOT 3 AND JUST  
SOUTHWEST OF CONTROL POINT 101.  
ELEV. 944.285

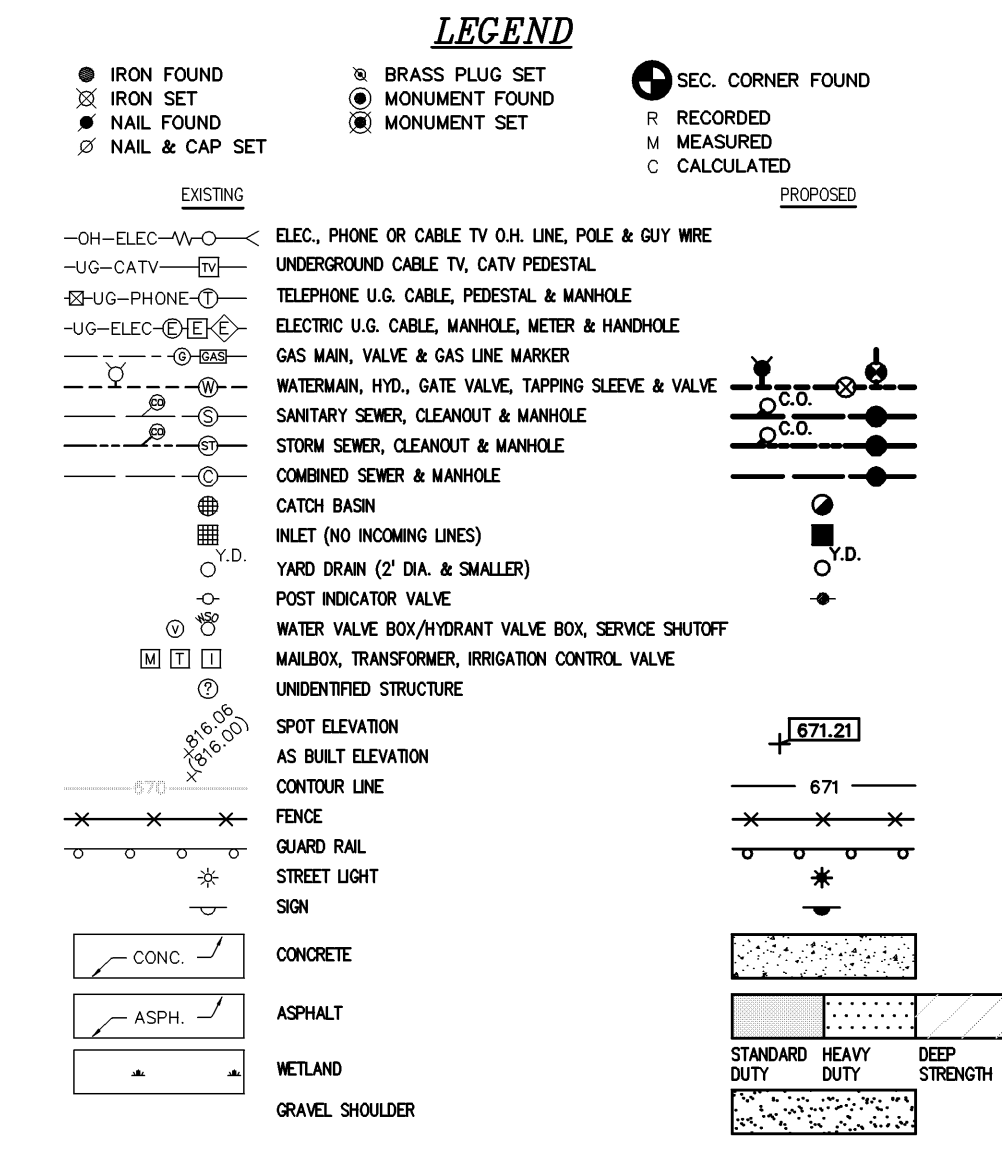
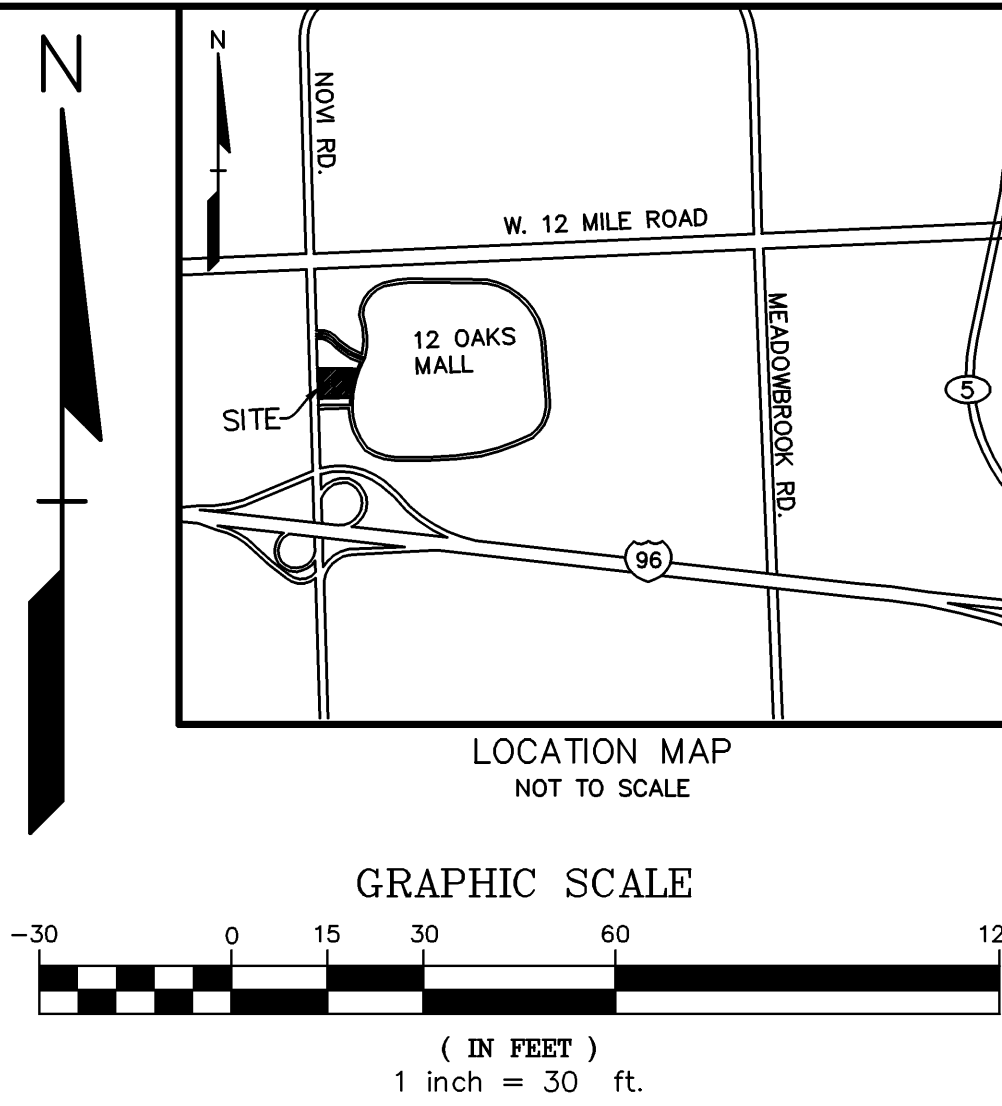
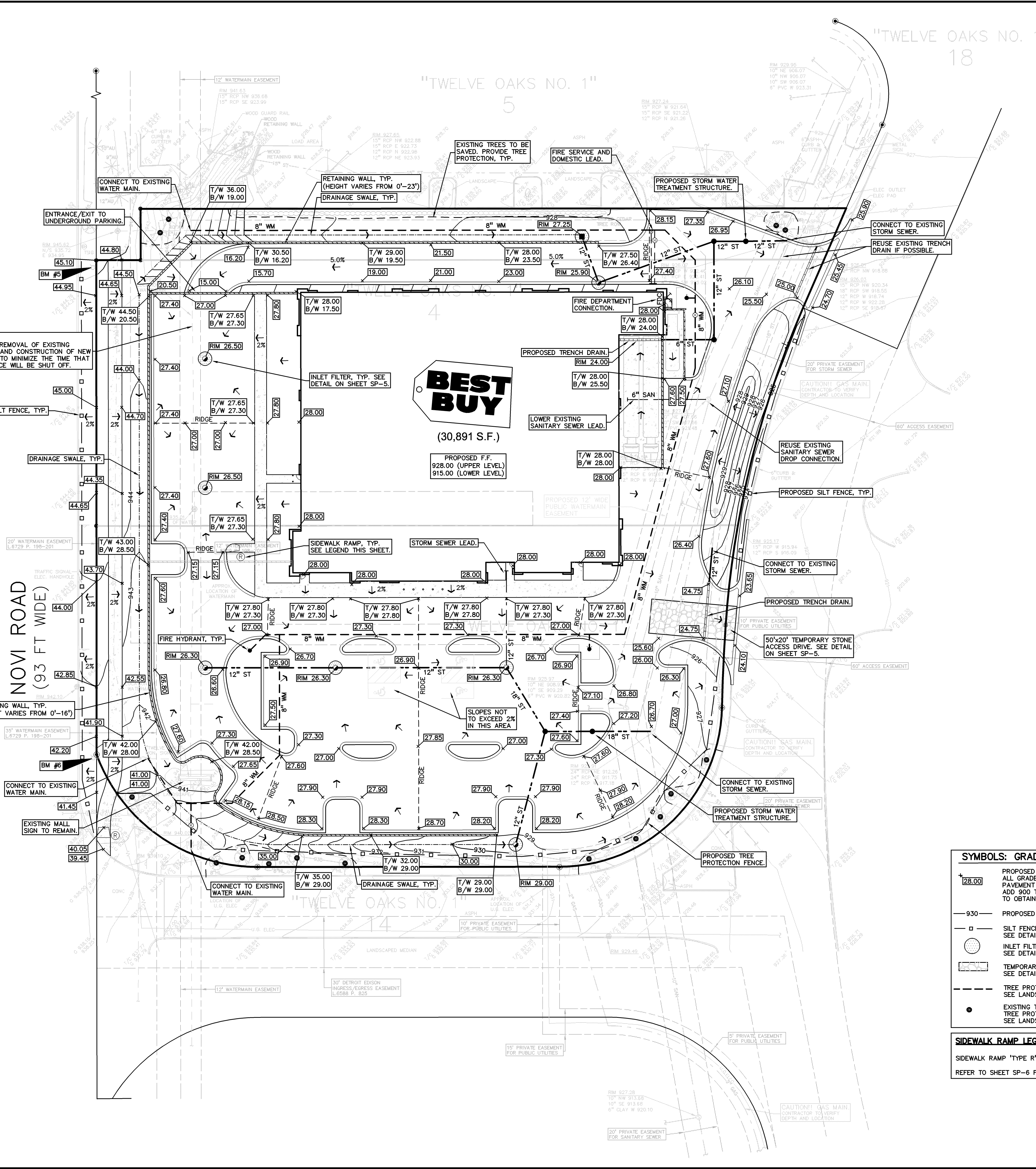
**NOTE:**  
COORDINATE REMOVAL OF EXISTING  
WATER MAIN AND CONSTRUCTION OF NEW  
WATER MAIN TO MINIMIZE THE TIME THAT  
WATER SERVICE WILL BE SHUT OFF.

**FIRE DEPARTMENT NOTES:**

1. AN ALL WEATHER ACCESS ROADS, CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE APPARATUS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
2. ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
3. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.

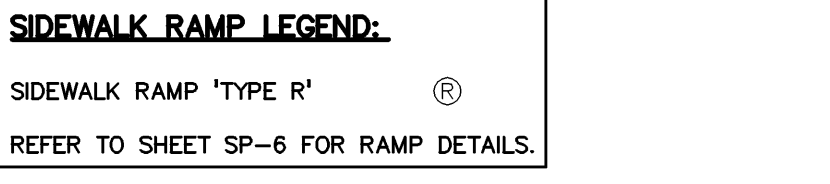
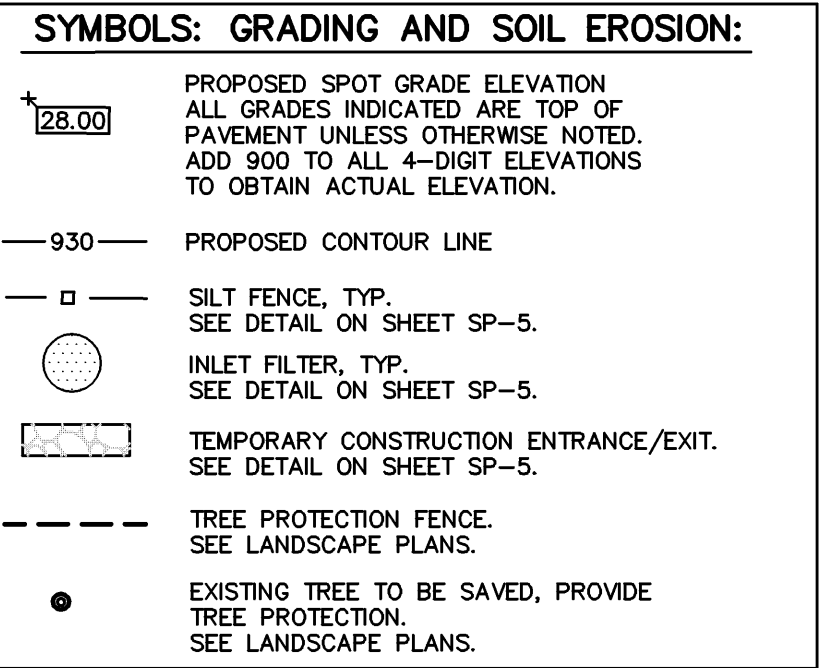
**CONSTRUCTION NOTES:**

1. ALL WORK SHALL CONFORM TO THE CITY OF NOV STANDARDS AND SPECIFICATIONS
2. ALL UNDERGROUND CONSTRUCTION UNDER OR WITHIN 3' OF PAVEMENT IS TO BE BACKFILLED WITH MDOT CL II GRANULAR MATERIAL COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY.
3. WATER MAIN, STORM SEWER, SANITARY SEWER AND PUBLIC LIGHTING UTILITIES AS SHOWN HEREON ARE TAKEN FROM THE BEST AVAILABLE RECORDS AS DISCLOSED BY THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES. NO GUARANTEE CAN BE GIVEN AS TO THE ACCURACY OR COMPLETENESS THEREOF.
4. CITY OF NOV R.O.W. PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC R.O.W.
5. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
6. SEE LANDSCAPE PLAN FOR RESTORATION AND LANDSCAPE NOTES.
7. 12 OAKS MALL DRIVE EAST OF SITE WILL BE USED AS THE SITE CONSTRUCTION ACCESS ROUTE.
8. SOIL TYPE (PER OAKLAND COUNTY SOIL SURVEY) TYPE 10B - MARLETTE SANDY LOAM, 1 TO 6 PERCENT SLOPES, AND 40B - UDORTHENTS, LOAMY, UNDULATING.



**FLOODPLAIN NOTE:**  
PARCELS 3, 4, 5, 14 AND 18 ARE LOCATED IN ZONE "X" - AREAS OF 0.2% ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE. FIRM COMMUNITY PANEL NO. 28125C 0607F, DATED 9-29-06.

**LEGAL DESCRIPTION:**  
T1N, R8E, SEC 14 TWELVE OAKS NO 1 LOT 4, ALSO PART OF LOT 5 BEG AT PT DIST N 89°57'00" E 26 FT FROM SW LOT COR, TH N 00°03'00" W 30.00 FT, TH N 89°57'00" E 412.69 FT, TH S 23°26'02" W 32.71 FT, TH S 89°57'00" W 399.66 FT TO BEG



**REVISIONS**

NO.	BY	CHK	DESCRIPTION	DATE

**CAUTION!**  
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**PROFESSIONAL ENGINEERING ASSOCIATES**  
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Fax: (248) 689-1044  
website: www.peacinc.com

**BEST BUY**  
7601 PENN AVE S BR-5265  
ROGERSFIELD, MN 55262

**BEST BUY - NOVI, MI**  
PART OF THE NW 1/4 OF SECTION 14, T. 14N, R. 8E,  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DES. SAS DN. RKM SUR. MAD. P.M. SAS

ORIGINAL ISSUE DATE: DEC. 21, 2007  
PEA JOB NO. 2007-088  
SCALE: 1" = 30'  
DRAWING NUMBER: **SP-3**

**(NOT FOR CONSTRUCTION)**  
**SIDWELL NUMBERS: 22-14-100-047 & 22-14-100-061**

XREF: \2007088\DWG\TOP\BASE-07088.DWG  
XREF: \2007088\DWG\SITE PLAN\BASE-07088.DWG  
XREF: \2007088\DWG\SITE PLAN\TLEK-07088.DWG



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SOUTHWEST OF CONTROL POINT 101.  
ELEV. 944.285

**SOIL EROSION CONTROL NOTES:**

- All erosion and sediment control work shall conform to city and county standards and specifications.
- Daily inspections shall be made by the permit holder to determine effectiveness of erosion and sediment control measures. Any necessary repairs shall be performed without delay.
- Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes and ponds.
- Erosion and sediment control measures are to be placed prior to, or as the first step in, construction. Sediment control practices will be applied as a perimeter defense against any transporting of silt off the site.
- Permit holder shall apply temporary erosion and sedimentation control measures as required and as directed on these plans. He shall remove temporary measures as soon as permanent stabilization of slopes, ditches, and other earth changes have been accomplished.
- Permanent soil erosion control measures for slopes, channels, ditches, or any disturbed land area shall be completed within 5 calendar days after final grading or the final earth change has been completed. When it is not possible to permanently stabilize a disturbed area after an earth change has been completed or where significant earth change activity ceases, temporary soil erosion control measures shall be implemented within 15 calendar days. All temporary soil erosion control measures shall be maintained until permanent soil erosion control measures are implemented. All permanent soil erosion control measures will be implemented and established before a certificate of compliance is issued.
- All mud or debris tracked onto existing city or county roads from this site, due to construction, shall be promptly removed by the permit holder. All mud or debris tracked or spilled on paved surfaces within this site shall be promptly removed by the permit holder.
- All grades shown are top of pavement grades unless otherwise noted. Add 0.5' to obtain top of curb grades.

**MAINTENANCE SCHEDULE FOR EROSION CONTROL MEASURES:**

**SILT FENCE**  
Silt fences should be inspected immediately after each rainfall and several times during prolonged rainfalls. If the fence is sagging or the soil has reached one half the height of the fabric, the soil behind the fabric must be removed and disposed of in a stable upland site. The soil can be added to the spoil pile. If the fabric is being undercut (i.e. if the water is seeping under the fence), the fence should be reinstalled following the given procedures. Fabric which decomposes or otherwise becomes ineffective should be removed and replaced with new filter fabric immediately. Filter fences should be removed once vegetation is well established and the up-slope area is fully stabilized or unless otherwise directed by the engineer.

**BUFFER/FILTER STRIPS**

Periodic inspections should be done to ensure that concentrated flows have not developed, and to make sure the vegetative cover is maintaining its effectiveness. If the integrity of the buffer/filter strip is jeopardized by upland erosion, or if concentrated flows are creating rills or gullies up-slope of the strip, additional BMP's may need to be installed. If the buffer strip is being jeopardized by stream bank erosion, then the cause of the bank erosion needs to be investigated and actions taken to address the causes. Damaged strips should be repaired as soon as possible. Strips damaged due to construction up-slope of the buffer/filter should be replanted, as necessary, after the cause of the damage is assessed and any other BMP's needed are implemented.

**MUD MAT/CONSTRUCTION ENTRANCE**

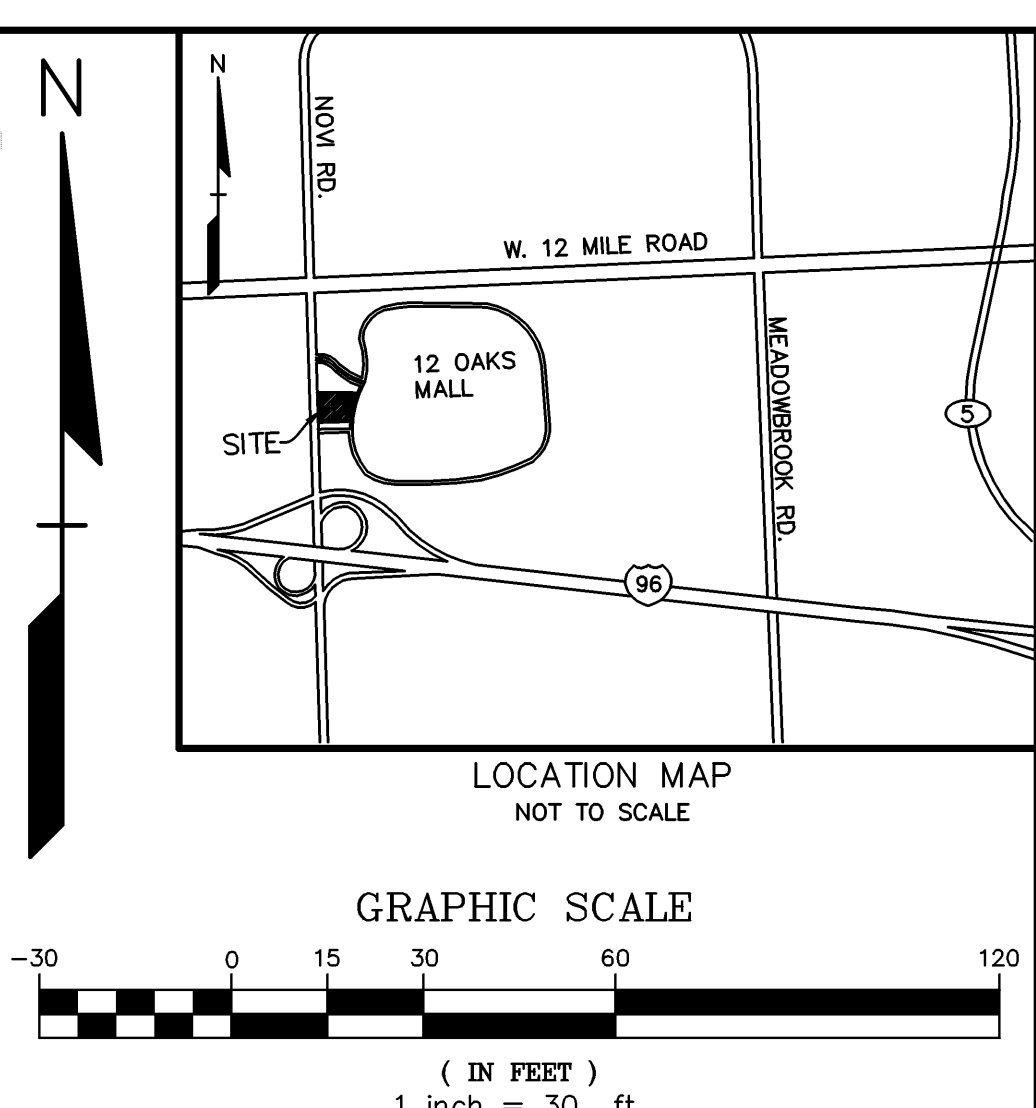
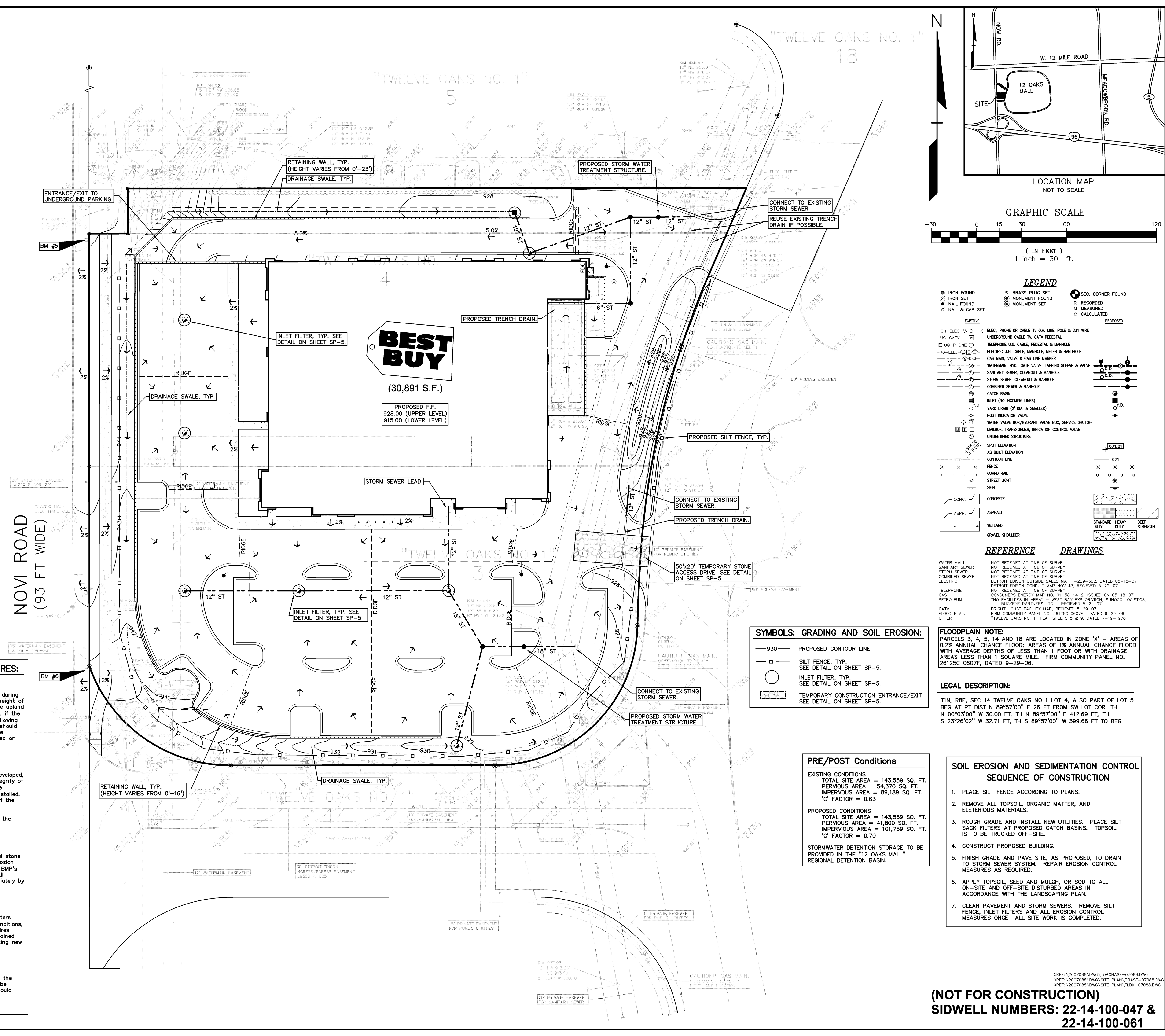
Proper maintenance may include adding additional layers of stone when the original stone becomes covered with mud. After each storm event, inspect the mud mat for erosion and make any necessary repairs. It is also important to check and maintain any BMP's which are used in conjunction with the mud mat, especially those for drainage. All sediment dropped or eroded onto public right-of-ways should be removed immediately by sweeping.

**SILT SACKS/INLET FILTERS**

Effective filters will collect sediment, particularly when the soil is sandy. These filters must be cleaned periodically, so they don't become clogged and cause flooding conditions, piping, or overtopping of the control structures. Maintenance of these items requires inspection weekly or after each rain event. Also, these items are reusable if maintained correctly. They can be recovered, emptied, cleaned and replaced without purchasing new ones.

**SEEDING, SODDING & MULCHING**

Seeded, sodded or mulched areas should be checked following each rain to ensure the material is staying in place. Additional tacking materials or netting may need to be applied to hold the aforementioned materials in place. Maintenance procedures should also be followed for the BMP's which were implemented to keep eroded soil or concentrated runoff away from these target areas.



**LEGEND**

● IRON FOUND	● BRASS PLUG SET	● SEC. CORNER FOUND
○ IRON SET	○ MONUMENT FOUND	○ RECORDED
● NAIL FOUND	● MONUMENT SET	○ MEASURED
○ NAIL & CAP SET		○ CALCULATED

**EXISTING**

- OH-ELEC— U.G. ELEC. PHONE OR CABLE TV OH. LINE, POLE & GUY WIRE
- UG-CATV— UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE— TELEPHONE U.G. CABLE, MANHOLE, METER & HANDHOLE
- UG-ELEC— ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS— GAS MAIN, VALVE & GAS LINE MANHOLE
- WATER— WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY— SANITARY SEWER, CLEANOUT & MANHOLE
- STORM— STORM SEWER, CLEANOUT & MANHOLE
- COMBINED— COMBINED SEWER & MANHOLE
- CATCH BASIN
- INLET (NO INCOMING LINES)
- YARD DRAM (2" DIA. & SMALLER)
- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- AS BUILT ELEVATION
- CONTROL LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN

**CONC.** CONCRETE  
**ASPH.** ASPHALT  
**WETLAND** WETLAND  
**GRAVEL SHOULDER** GRAVEL SHOULDER

**REFERENCE DRAWINGS**

WATER MAIN: NOT RECEIVED AT TIME OF SURVEY  
SANITARY SEWER: NOT RECEIVED AT TIME OF SURVEY  
STORM SEWER: NOT RECEIVED AT TIME OF SURVEY  
COMBINED SEWER: NOT RECEIVED AT TIME OF SURVEY  
ELECTRIC: NOT RECEIVED AT TIME OF SURVEY  
DETROIT EDISON CONDUIT MAP NOV 43: RECEIVED 5-22-07  
DETROIT EDISON OUTSIDE SALES MAP 1-229-362, DATED 05-18-07  
CONSUMERS ENERGY MAP NO. 01-58-14-2, (S)SDR ON 05-18-07  
"NO FACILITIES IN AREA" - WEST BAY EXPLORATION, SUNCOG LOGISTICS,  
BUCKLE PARTNERS, LLC - RECEIVED 5-21-07  
BRIGHT HOUSE FACILITY MAP, RECEIVED 5-29-07  
FIRM COMMUNITY PANEL NO. 26125C 0607F, DATED 9-29-06  
"TWELVE OAKS NO. 1" PLAT SHEETS 5 & 6, DATED 7-19-1975

**SYMBOLS: GRADING AND SOIL EROSION:**

— 930 —	PROPOSED CONTOUR LINE
○	SILT FENCE, TYP. SEE DETAIL ON SHEET SP-5.
○	INLET FILTER, TYP. SEE DETAIL ON SHEET SP-5.
○	TEMPORARY CONSTRUCTION ENTRANCE/EXIT. SEE DETAIL ON SHEET SP-5.

**PRE/POST Conditions**

<b>EXISTING CONDITIONS</b>	TOTAL SITE AREA = 143,559 SQ. FT.
	PERVIOUS AREA = 54,370 SQ. FT.
	IMPERVIOUS AREA = 89,189 SQ. FT.
	'C' FACTOR = 0.63
<b>PROPOSED CONDITIONS</b>	TOTAL SITE AREA = 143,559 SQ. FT.
	PERVIOUS AREA = 41,800 SQ. FT.
	IMPERVIOUS AREA = 101,759 SQ. FT.
	'C' FACTOR = 0.70

STORMWATER DETENTION STORAGE TO BE PROVIDED IN THE "12 OAKS MALL" REGIONAL DETENTION BASIN.

- SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE OF CONSTRUCTION**
- PLACE SILT FENCE ACCORDING TO PLANS.
  - REMOVE ALL TOPSOIL, ORGANIC MATTER, AND ELETERIOUS MATERIALS.
  - ROUGH GRADE AND INSTALL NEW UTILITIES. PLACE SILT SACK FILTERS AT PROPOSED CATCH BASINS. TOPSOIL IS TO BE TRUCKED OFF-SITE.
  - CONSTRUCT PROPOSED BUILDING.
  - FINISH GRADE AND PAVE SITE, AS PROPOSED, TO DRAIN TO STORM SEWER SYSTEM. REPAIR EROSION CONTROL MEASURES AS REQUIRED.
  - APPLY TOPSOIL, SEED AND MULCH, OR SOD TO ALL ON-SITE AND OFF-SITE DISTURBED AREAS IN ACCORDANCE WITH THE LANDSCAPING PLAN.
  - CLEAN PAVEMENT AND STORM SEWERS. REMOVE SILT FENCE, INLET FILTERS AND ALL EROSION CONTROL MEASURES ONCE ALL SITE WORK IS COMPLETED.

**REVISIONS**

NO.	BY	CHK	DESCRIPTION	DATE

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR OBSERVATION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE CONTRACTOR SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY OF WORK ON THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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Phone: (248) 689-9090  
Fax: (248) 689-1044  
website: www.peainc.com

**PROFESSIONAL ENGINEERING ASSOCIATES**

**STORM WATER MANAGEMENT PLAN**  
BEST BUY - NOV, MI  
PART OF THE NW 1/4 OF SECTION 14, T. 14N., R. 8E., CITY OF NOV, OAKLAND COUNTY, MICHIGAN

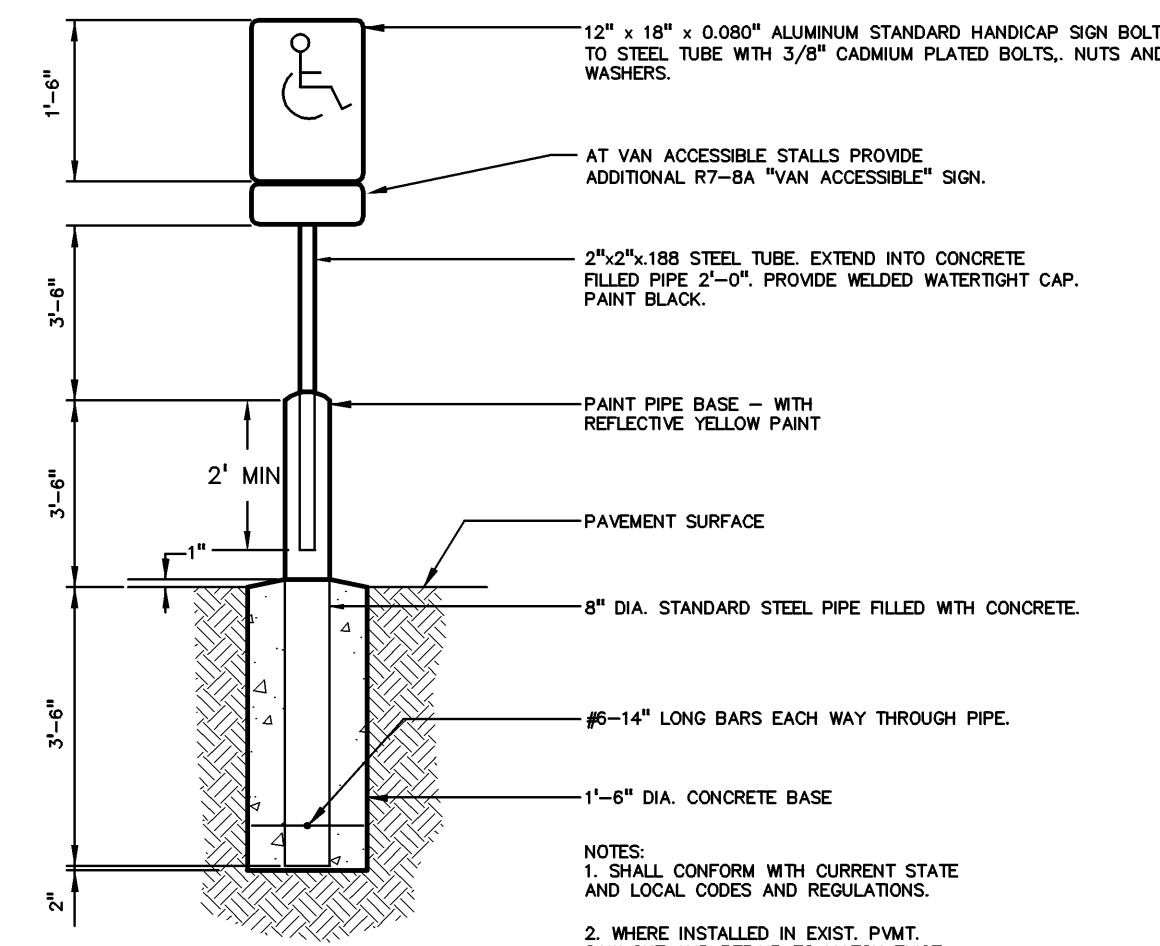
**BEST BUY**  
7601 PENN AVE S. BLDG 25  
ROGERSFIELD, MI 48063

**DES.** SAS  
**DN.** KMK  
**SUR.** MAD  
**MAD.** SAS  
**P.M.** P.M.

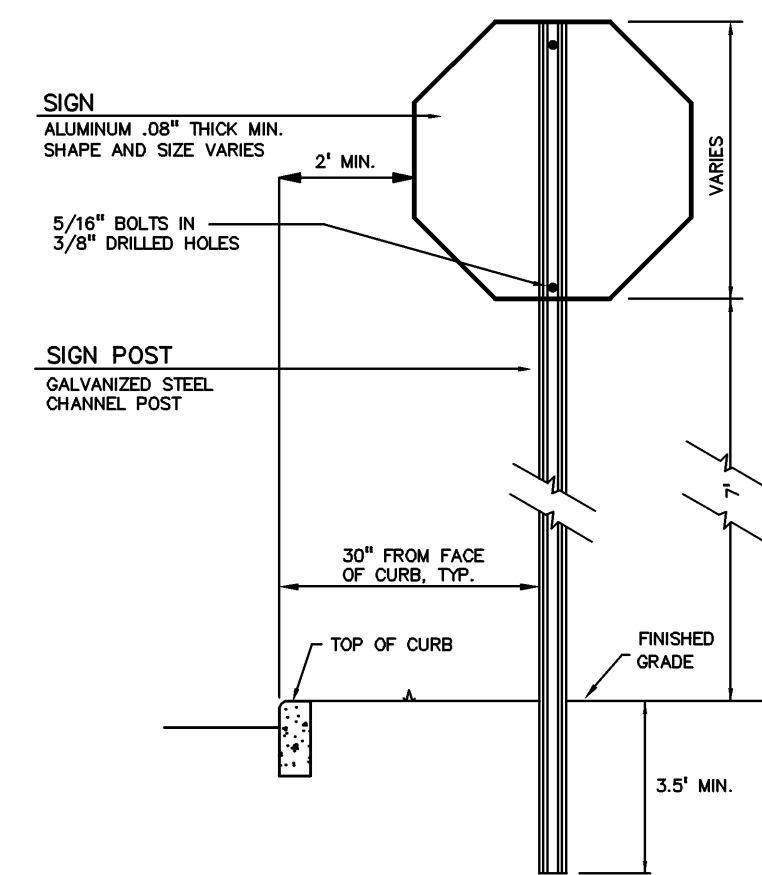
ORIGINAL ISSUE DATE: DEC. 21, 2007  
PEA JOB NO. 2007-088  
SCALE: 1" = 30'  
DRAWING NUMBER: **SP-4**

**(NOT FOR CONSTRUCTION)**  
**SIDWELL NUMBERS: 22-14-100-047 & 22-14-100-061**

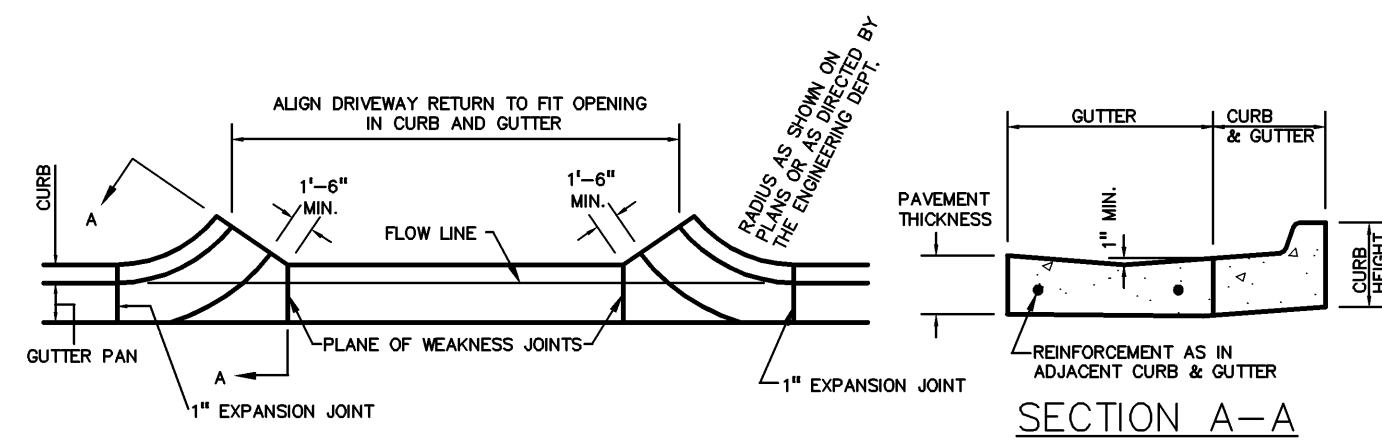
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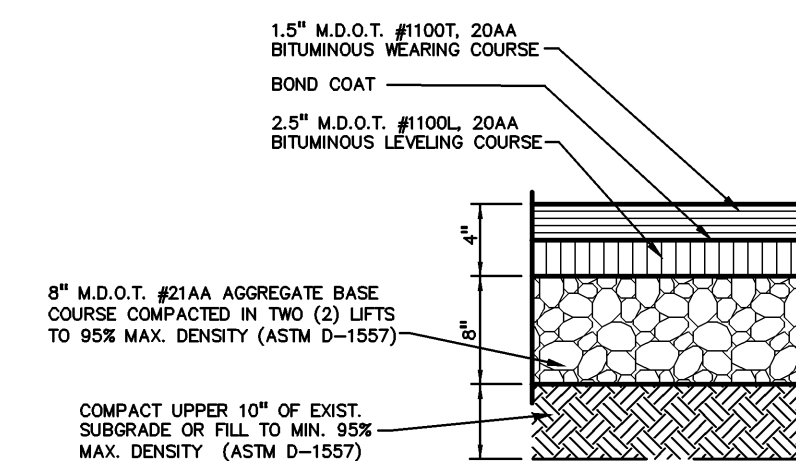
**SIGN AND POST INSTALLATION IN PAVED AREAS**  
NOT TO SCALE



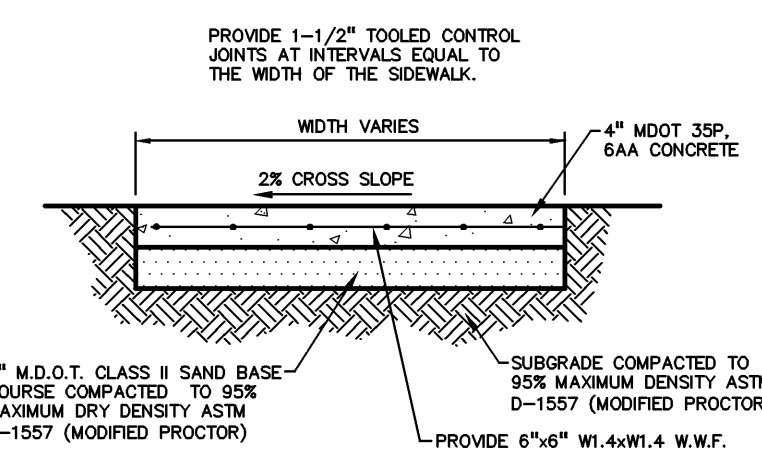
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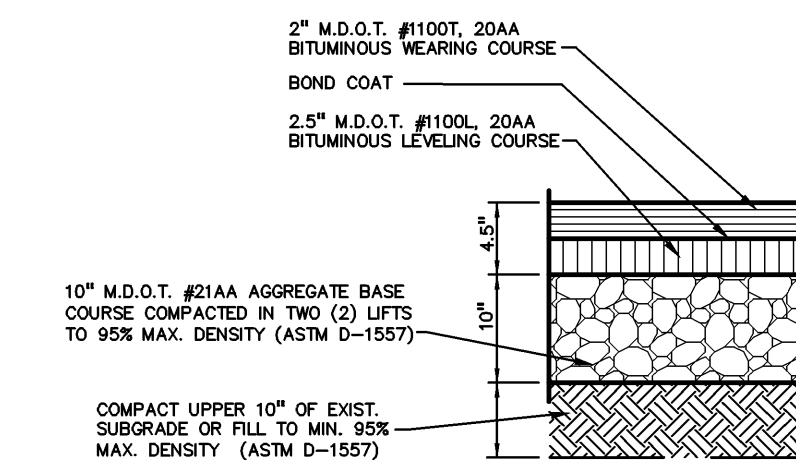
**M.D.O.T. DRIVEWAY OPENING-DETAIL 'M'**  
NOT TO SCALE



**STANDARD DUTY ASPHALT DETAIL**  
(NOT FOR USE IN THE RIGHT-OF-WAY) NOT TO SCALE



**CONCRETE SIDEWALK**  
NOT TO SCALE



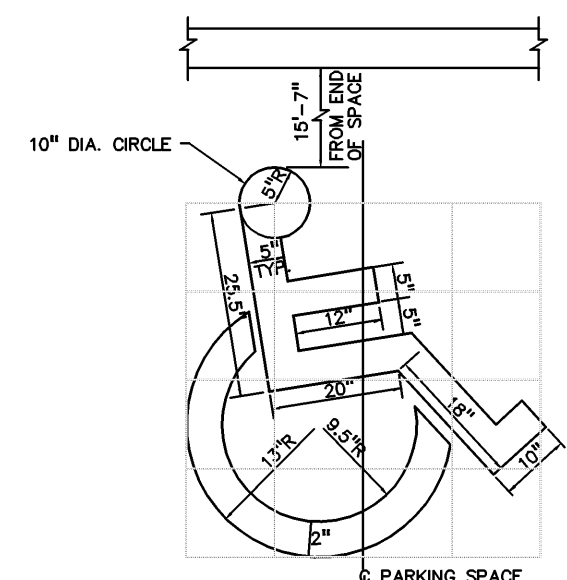
**HEAVY DUTY ASPHALT DETAIL**  
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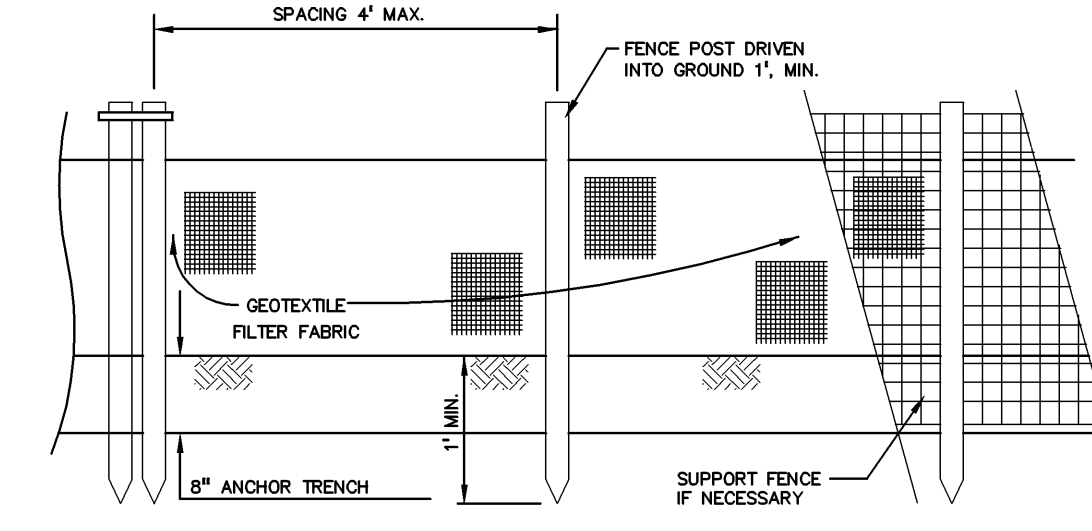
**VAN ACCESSIBLE SIGN DETAIL**  
NOT TO SCALE



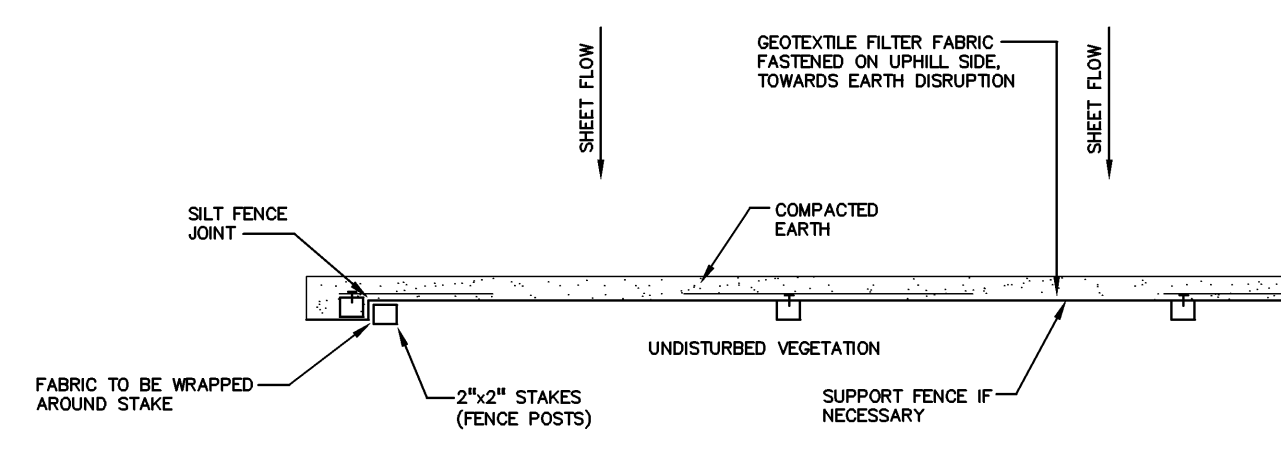
**BARRIER FREE PARKING SIGN DETAIL**  
NOT TO SCALE



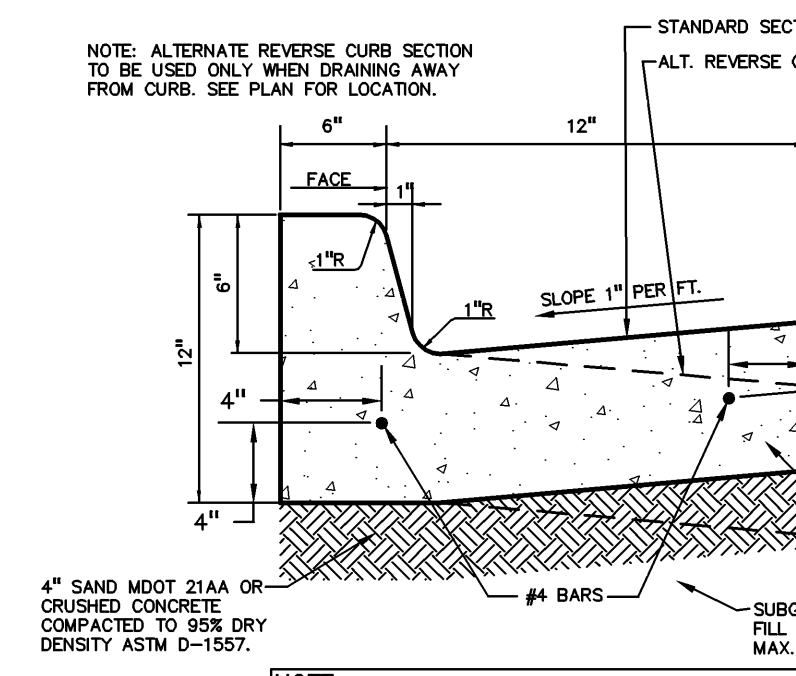
**STANDARD "BARRIER FREE" SYMBOL FOR PARKING SPACE**  
NOT TO SCALE



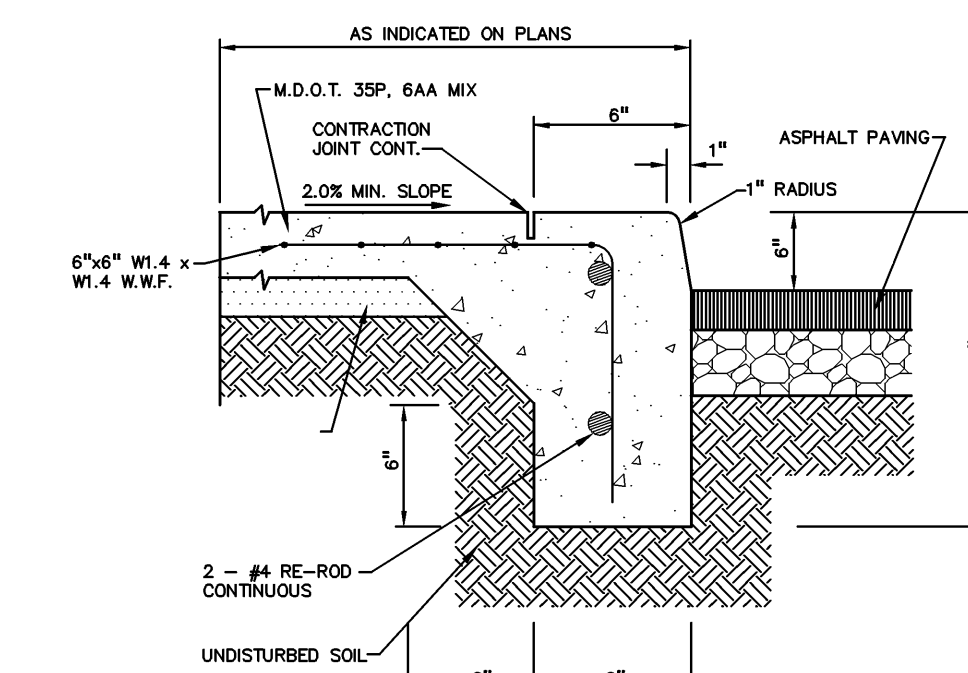
**FRONT VIEW**



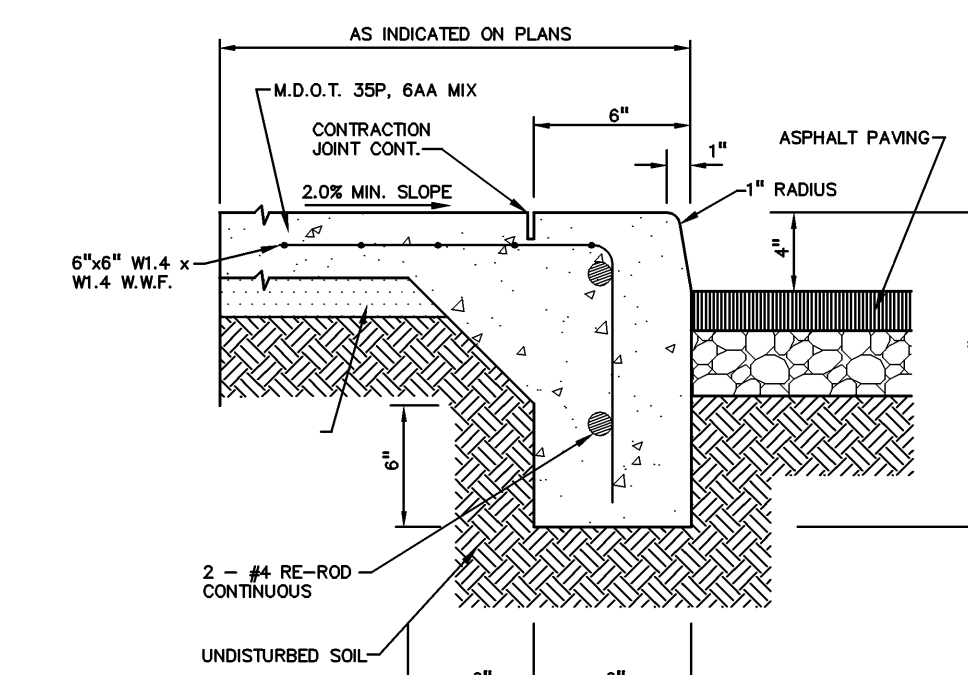
**PLAN VIEW**  
**SILT FENCE DETAIL**  
NOT TO SCALE



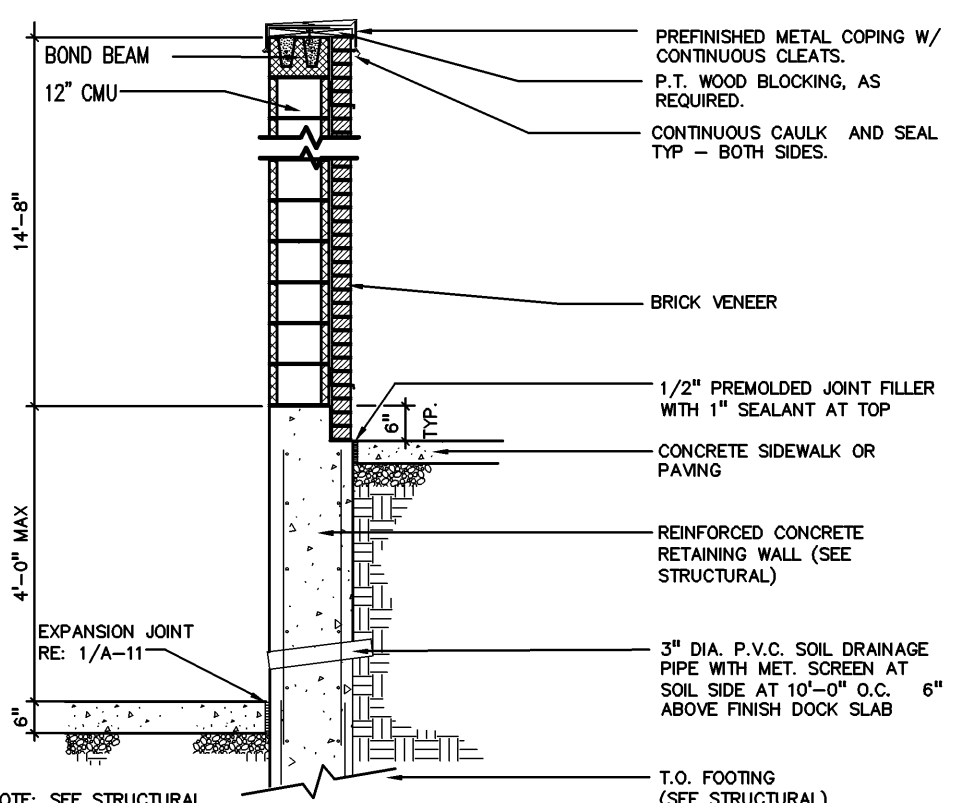
**18"x6" STANDARD CONCRETE CURB AND GUTTER**  
NOT TO SCALE



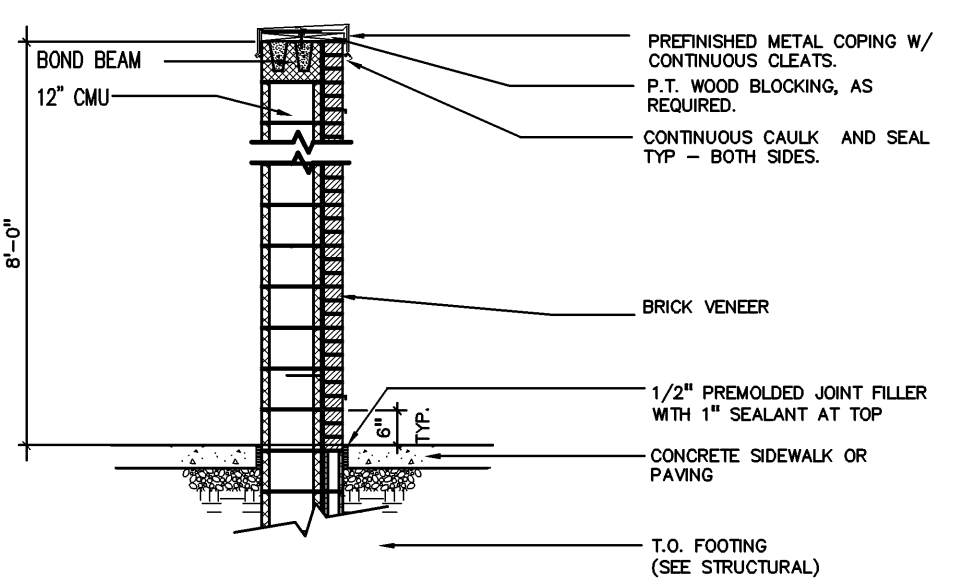
**6" INTEGRAL CURB AND SIDEWALK**  
NOT TO SCALE



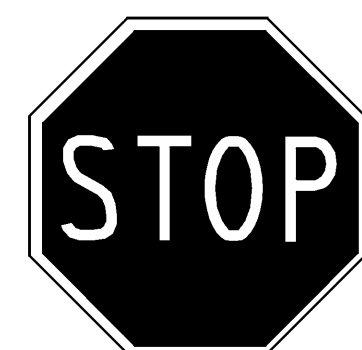
**4" INTEGRAL CURB AND SIDEWALK**  
NOT TO SCALE



**RETAINING WALL/SCREEN WALL AT LOADING DOCK**  
NOT TO SCALE



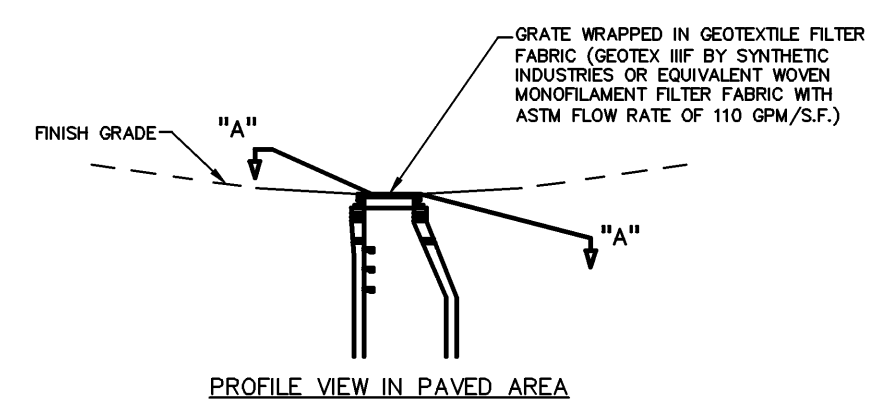
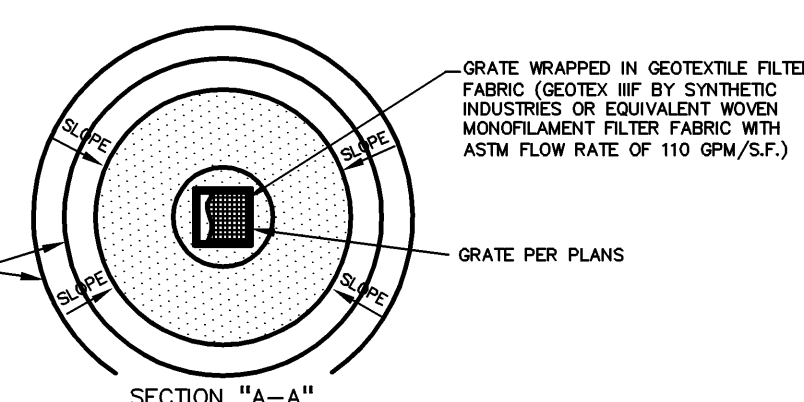
**SCREEN WALL FOR TRASH COMPACTOR**  
NOT TO SCALE



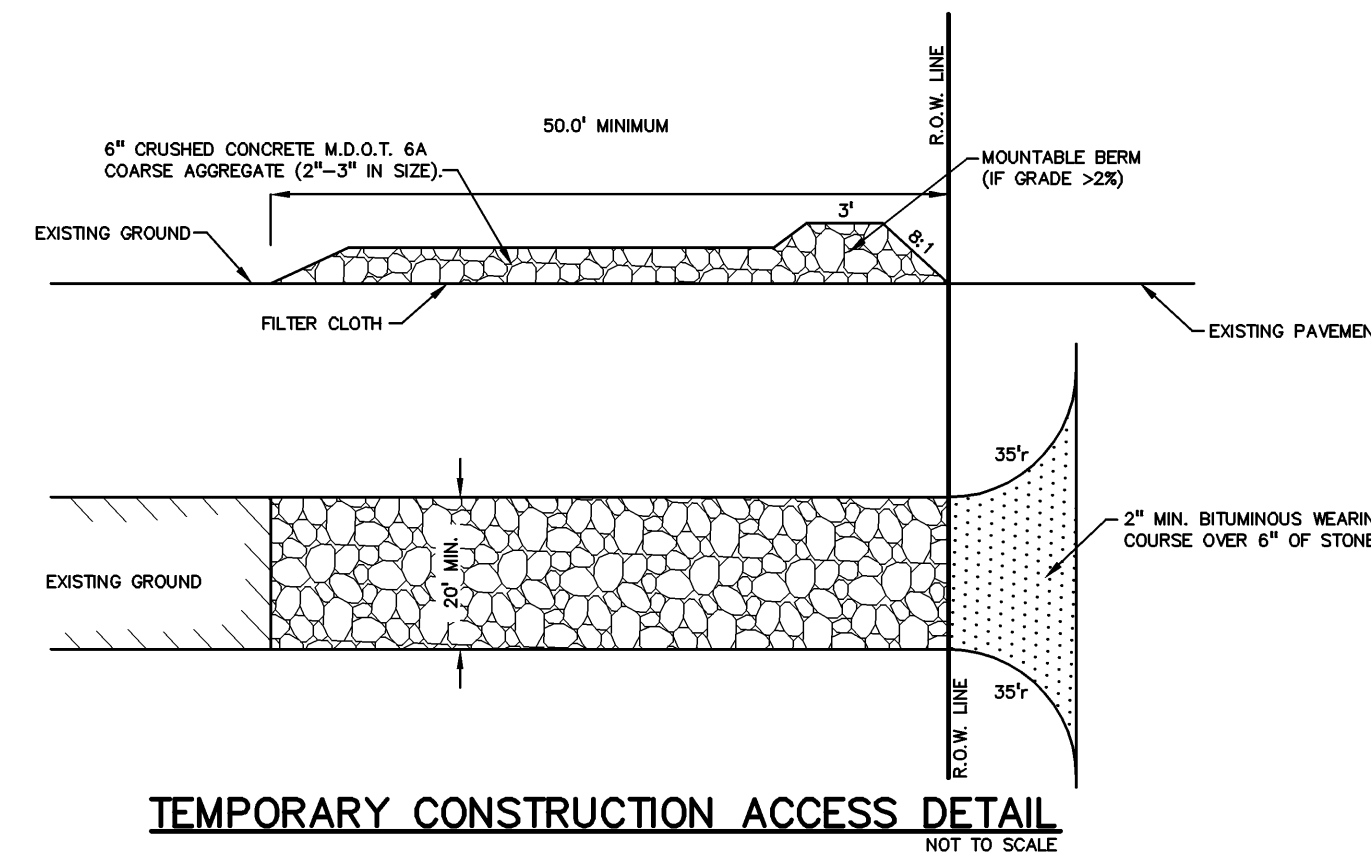
**STOP SIGN DETAIL**  
NOT TO SCALE



**NO PARKING SIGN DETAIL**  
NOT TO SCALE



**INLET FILTER**  
NOT TO SCALE



**TEMPORARY CONSTRUCTION ACCESS DETAIL**  
NOT TO SCALE

NO.	BY	CHK	DESCRIPTION	DATE

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2430 Rochester Ct. Suite 100  
Troy, MI 48063-1872  
Phone: (248) 689-9090  
Fax: (248) 689-1044  
website: www.peainc.com

**BEST BUY**  
7801 PENN AVE S. B5656  
ROGERSVILLE, MI 48063

**PRELIMINARY DETAILS**  
**BEST BUY - NOVI, MI**  
PART OF THE NW 1/4 OF SECTION 14, T. 1N, R. 8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DES. SAS DN. RKM SUR. MAD. P.M. SAS

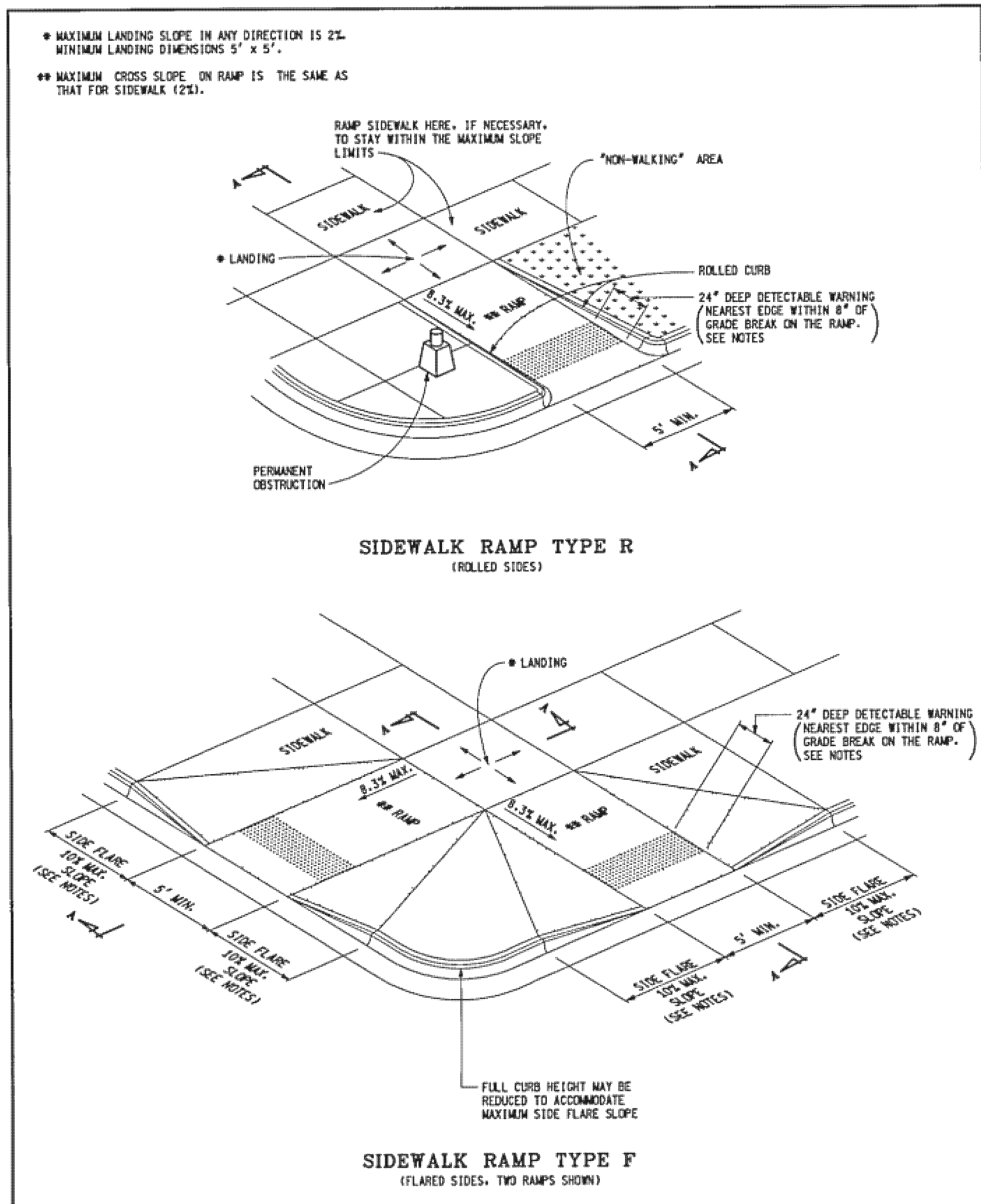
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ISSUE DATE: DEC. 21, 2007

SCALE: N/A

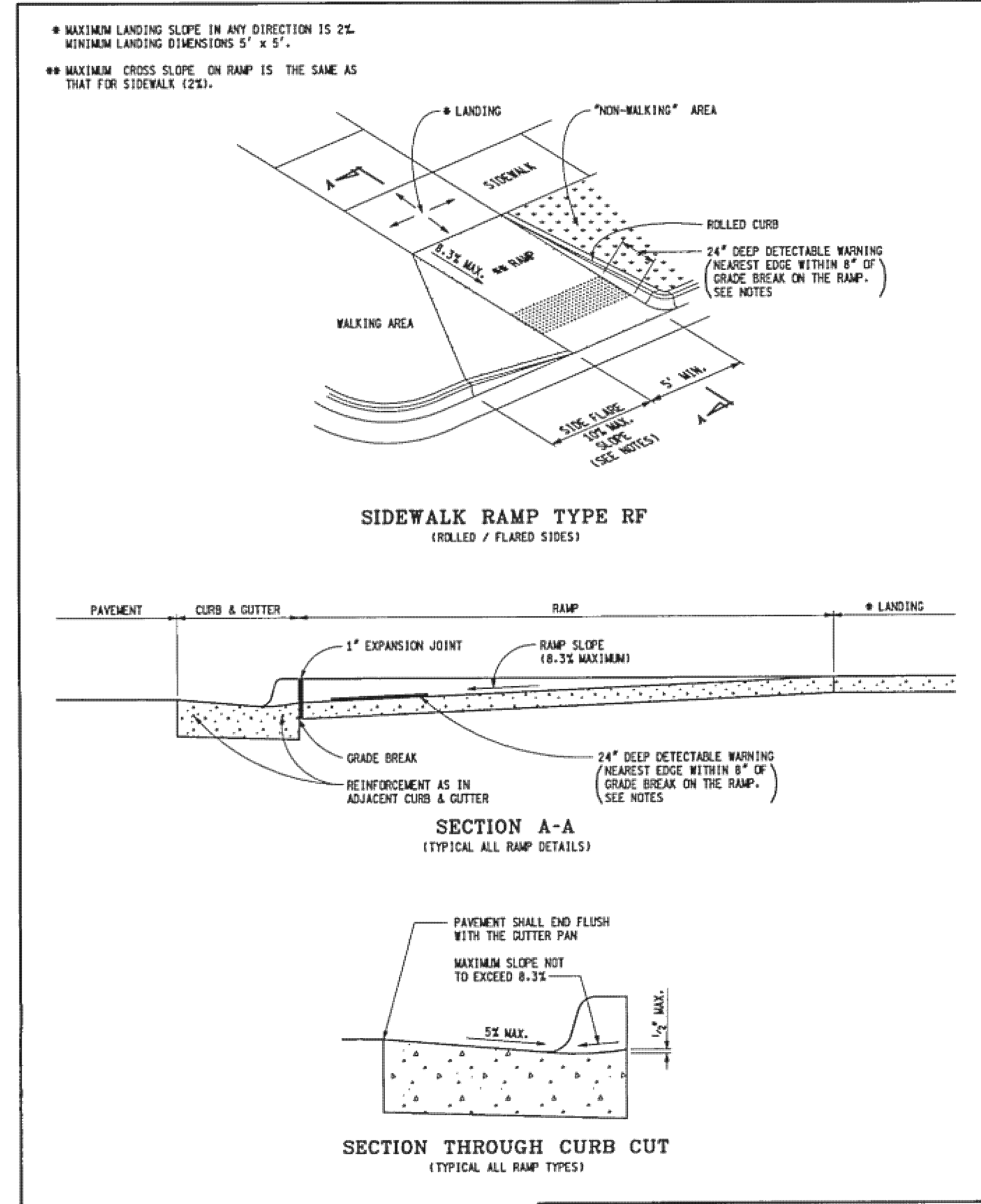
DRAWING NUMBER:  
**SP-5**

(NOT FOR CONSTRUCTION)  
SIDWELL NUMBERS: 22-14-100-047 & 22-14-100-061

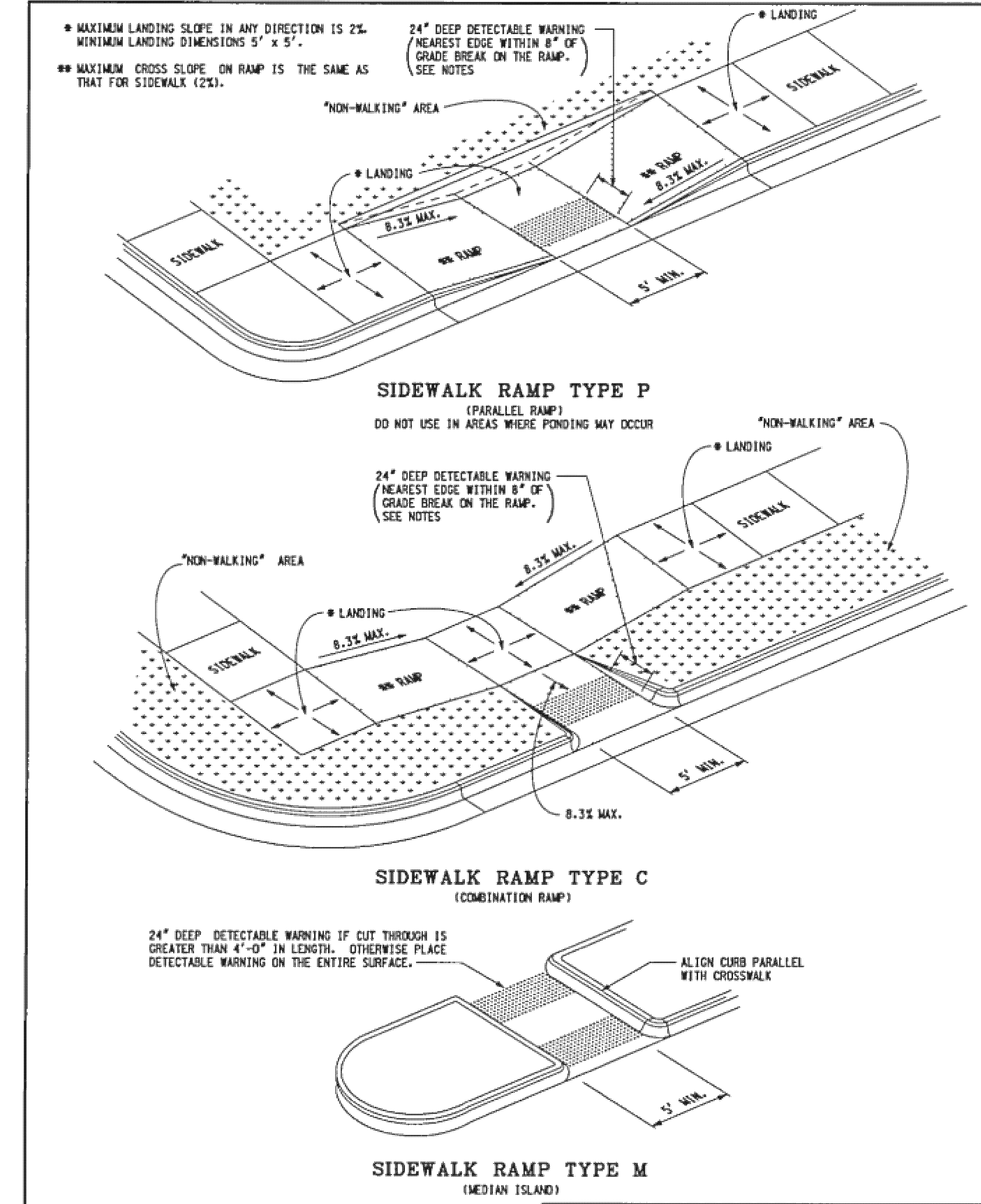




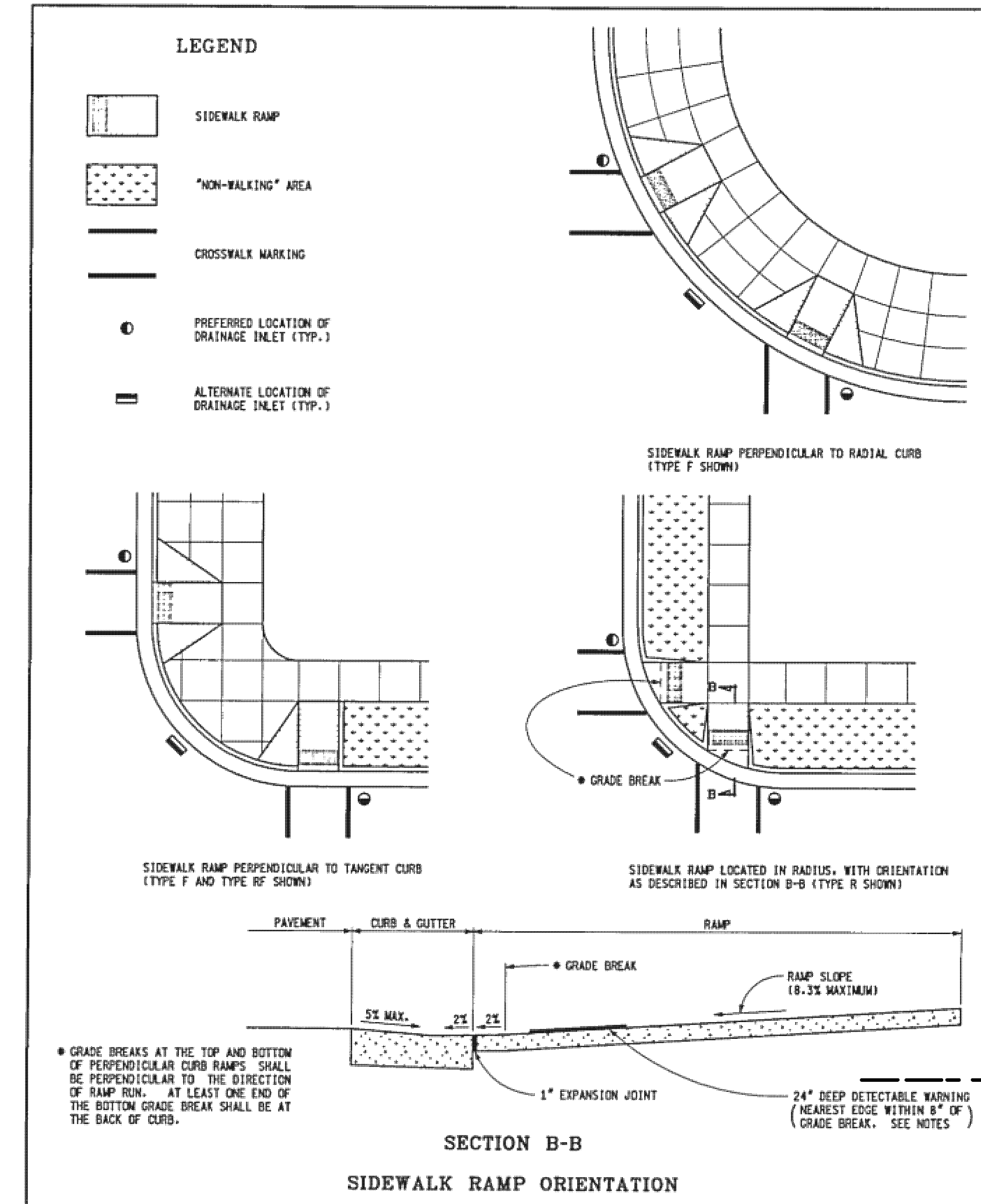
DEPARTMENT DIRECTOR <b>MDOT</b> FOR T. STAGGS		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR	
PREPARED BY DESIGN DIVISION DRAWN BY: B.S.L. CHECKED BY: W.S.E.	APPROVED BY: ENGINEER OF SURVEY APPROVED BY: ENGINEER OF DEVELOPMENT	<b>SIDEWALK RAMP DETAILS</b>	
F.H.R.A. APPROVAL	2-20-2007 PLAN DATE	R-28-F	SHEET 1 OF 6



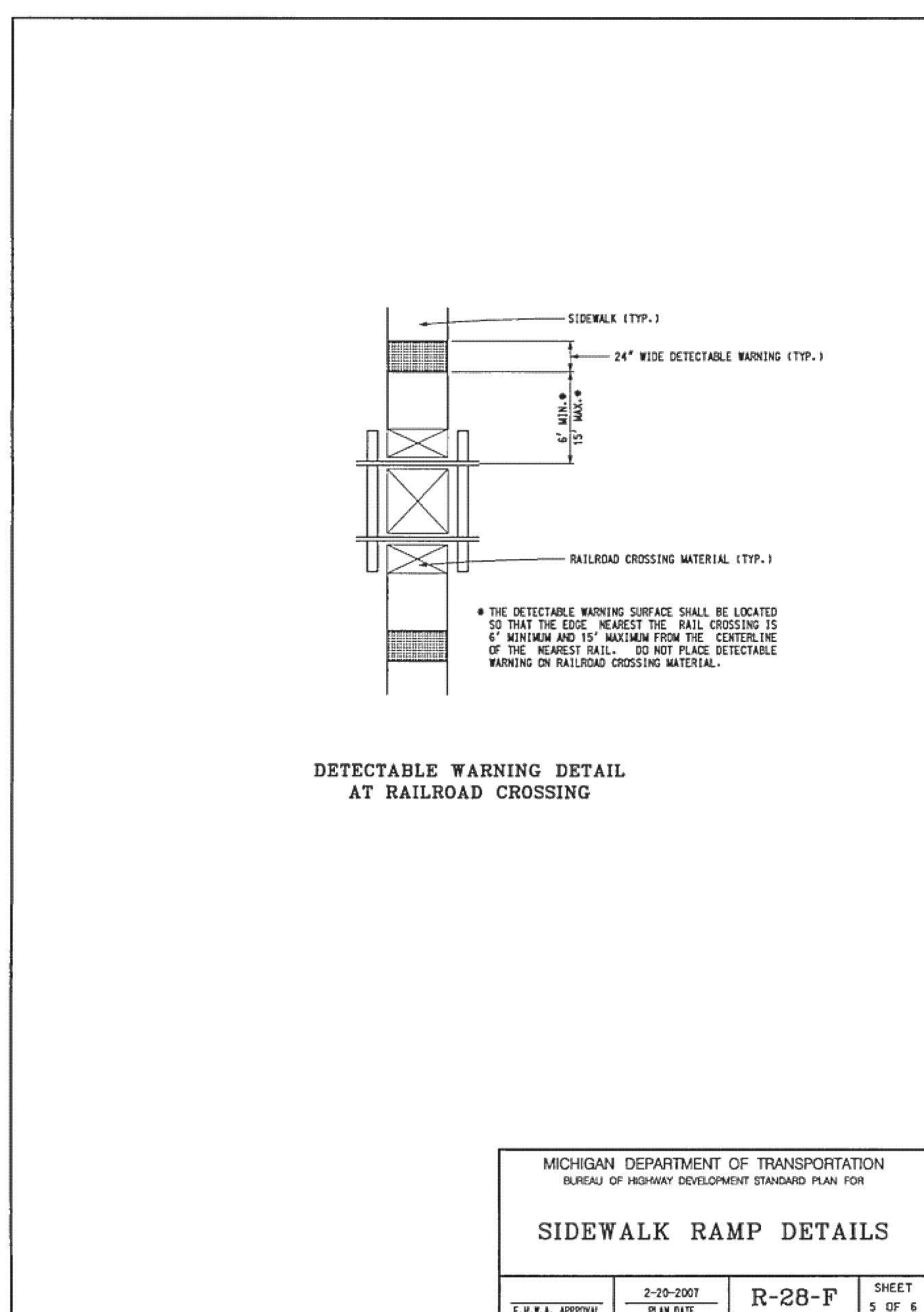
DEPARTMENT DIRECTOR <b>MDOT</b> FOR T. STAGGS		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR	
PREPARED BY DESIGN DIVISION DRAWN BY: B.S.L. CHECKED BY: W.S.E.	APPROVED BY: ENGINEER OF SURVEY APPROVED BY: ENGINEER OF DEVELOPMENT	<b>SIDEWALK RAMP DETAILS</b>	
F.H.R.A. APPROVAL	2-20-2007 PLAN DATE	R-28-F	SHEET 2 OF 6



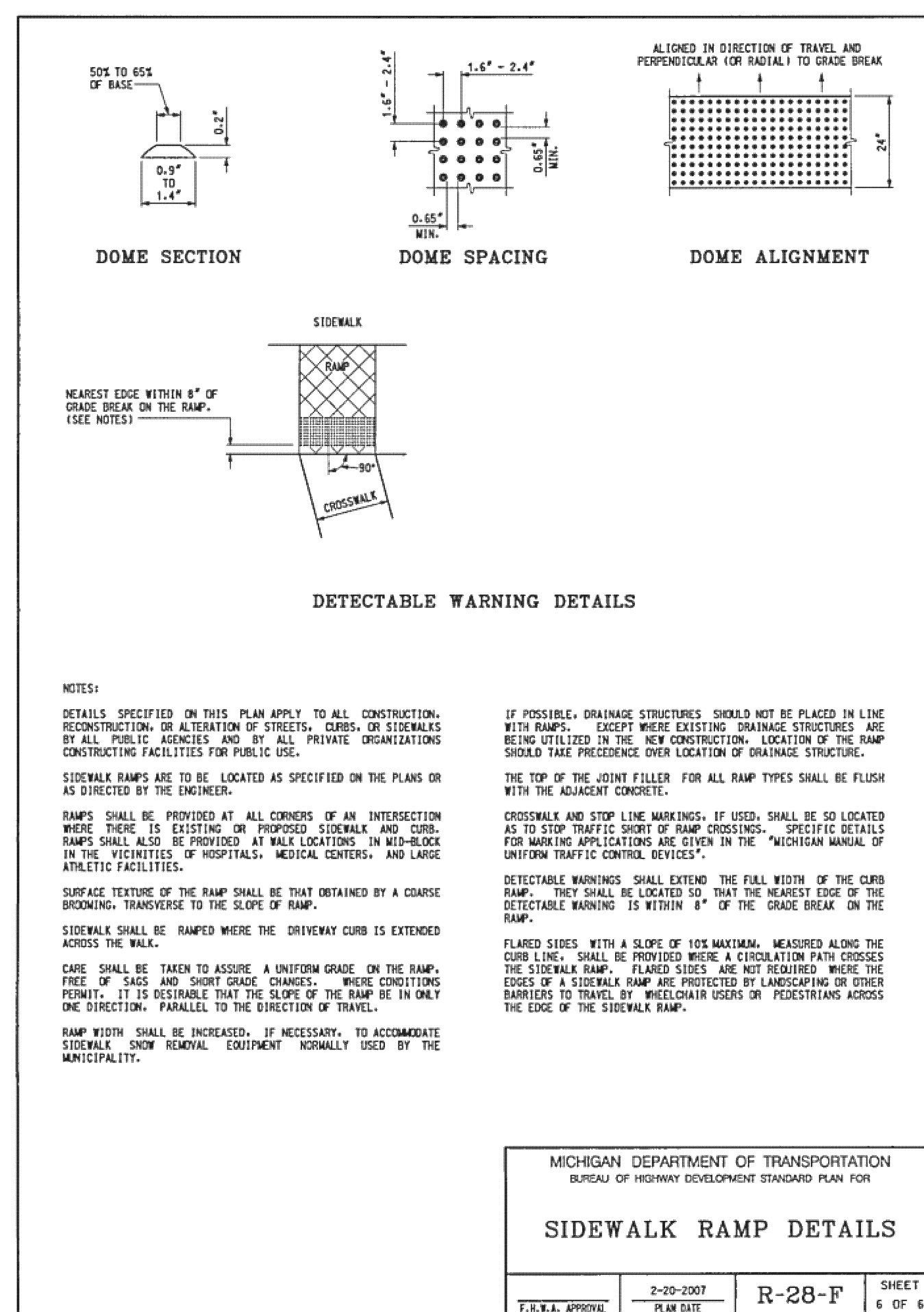
DEPARTMENT DIRECTOR <b>MDOT</b> FOR T. STAGGS		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR	
PREPARED BY DESIGN DIVISION DRAWN BY: B.S.L. CHECKED BY: W.S.E.	APPROVED BY: ENGINEER OF SURVEY APPROVED BY: ENGINEER OF DEVELOPMENT	<b>SIDEWALK RAMP DETAILS</b>	
F.H.R.A. APPROVAL	2-20-2007 PLAN DATE	R-28-F	SHEET 3 OF 6



DEPARTMENT DIRECTOR <b>MDOT</b> FOR T. STAGGS		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR	
PREPARED BY DESIGN DIVISION DRAWN BY: B.S.L. CHECKED BY: W.S.E.	APPROVED BY: ENGINEER OF SURVEY APPROVED BY: ENGINEER OF DEVELOPMENT	<b>SIDEWALK RAMP DETAILS</b>	
F.H.R.A. APPROVAL	2-20-2007 PLAN DATE	R-28-F	SHEET 4 OF 6



DEPARTMENT DIRECTOR <b>MDOT</b> FOR T. STAGGS		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR	
PREPARED BY DESIGN DIVISION DRAWN BY: B.S.L. CHECKED BY: W.S.E.	APPROVED BY: ENGINEER OF SURVEY APPROVED BY: ENGINEER OF DEVELOPMENT	<b>SIDEWALK RAMP DETAILS</b>	
F.H.R.A. APPROVAL	2-20-2007 PLAN DATE	R-28-F	SHEET 5 OF 6



DEPARTMENT DIRECTOR <b>MDOT</b> FOR T. STAGGS		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR	
PREPARED BY DESIGN DIVISION DRAWN BY: B.S.L. CHECKED BY: W.S.E.	APPROVED BY: ENGINEER OF SURVEY APPROVED BY: ENGINEER OF DEVELOPMENT	<b>SIDEWALK RAMP DETAILS</b>	
F.H.R.A. APPROVAL	2-20-2007 PLAN DATE	R-28-F	SHEET 6 OF 6

NO.	BY	CHK	DESCRIPTION	DATE

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 website: www.peainc.com

**BEST BUY**  
 700 PENN AVE S BR6585  
 ROYAL OAK, MI 48063

**M.D.O.T. SIDEWALK RAMP DETAILS**  
**BEST BUY - NOVI, MI**  
 PART OF THE NW 7/4 OF SECTION 14, T. 1N, R. 8E.,  
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DES.	SAS	DN.	KMK	SUR.	MAD	P.M.
SAS	DN.	KMK	SUR.	MAD	P.M.	SAS

ORIGINAL  
 ISSUE DATE: DEC. 21, 2007  
 PEA JOB NO. 2007-088

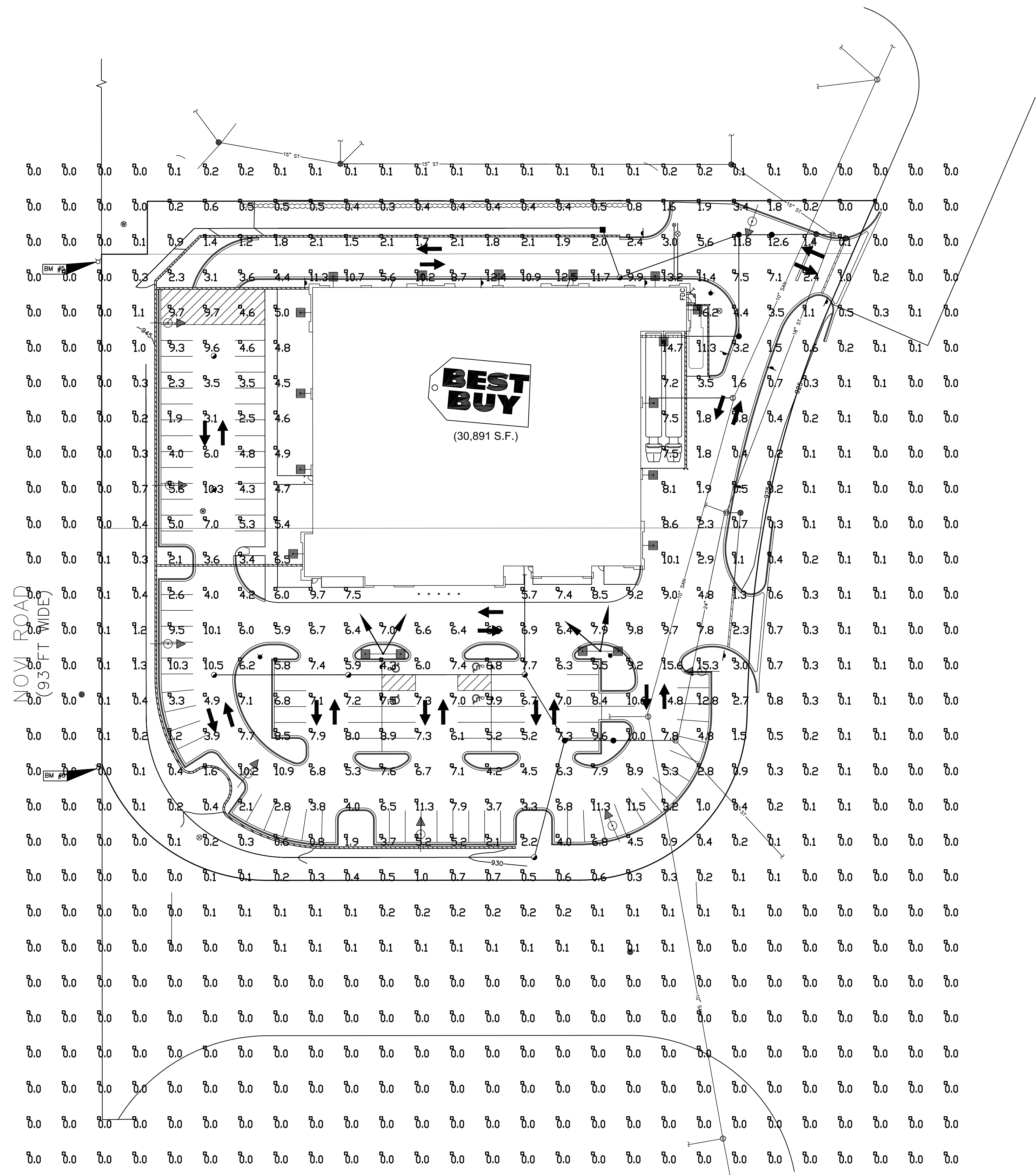
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**SP-6**

XREF: \2007088\DWG\SITE PLAN\TLR-07088.DWG

**(NOT FOR CONSTRUCTION)**  
**SIDWELL NUMBERS: 22-14-100-047 & 22-14-100-061**

# REVISIONS

REV #      DATE      BY:



BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SUMMARY	6.36	16.2	0.4	15.90	40.50

Luminaire Schedule					
Symbol	Qty	Label	Lumens	LLF	Description
■	2	A	110000	0.750	WLS-FVR-S-1000-MHR-FG 30' POLE 3' BASE
⊙	8	B	110000	0.750	WLS-FVR-FP-1000-MHR-FG-GS 25' POLE 3' BASE
■	14	C	36000	0.750	WLS-H-S-3-400-MHR-FG 16' MOUNTING HEIGHT
→	4	D	110000	0.750	WLS-FL1-1000-MH

BEST BUY  
NOVI, MI

WLS LIGHTING SYSTEMS

WLS-6054

DATE -  
12/20/07

SCALE 1"=40'

800-633-8711

PM: STEVE

BY: J.P.

SHEET 1 OF 1